



Coachella Civic Center, Hearing Room
53-462 Enterprise Way, Coachella, California
(760) 398-3502 ♦ www.coachella.org

AGENDA

OF A REGULAR MEETING
OF THE
CITY OF COACHELLA
PLANNING COMMISSION

March 03, 2021
6:00 PM

PURSUANT TO EXECUTIVE ORDER N-29-20, THIS MEETING WILL BE CONDUCTED BY TELECONFERENCE AND THERE WILL BE NO IN-PERSON PUBLIC ACCESS TO THE MEETING LOCATION.

YOU MAY SUBMIT YOUR PUBLIC COMMENTS TO THE PLANNING COMMISSION ELECTRONICALLY. MATERIAL MAY BE EMAILED TO LLOPEZ@COACHELLA.ORG, JCARRILLO@COACHELLA.ORG, YBECERRIL@COACHELLA.ORG.

TRANSMITTAL PRIOR TO THE START OF THE MEETING IS REQUIRED. ANY CORRESPONDENCE RECEIVED DURING OR AFTER THE MEETING WILL BE DISTRIBUTED TO THE PLANNING COMMISSION AND RETAINED FOR THE OFFICIAL RECORD.

YOU MAY PROVIDE TELEPHONIC COMMENTS BY CALLING THE PLANNING DEPARTMENT AT (760)-398-3102 **NO LATER THAN 4:00 P.M.** THE DAY OF THIS MEETING TO BE ADDED TO THE PUBLIC COMMENT QUEUE. AT THE APPROPRIATE TIME, YOU WILL BE CALLED SO THAT YOU MAY PROVIDE YOUR PUBLIC TESTIMONY TO THE PLANNING COMMISSION.

THE PUBLIC SHALL HAVE ACCESS TO WATCH THE MEETING LIVE USING FOLLOWING:

PLEASE CLICK THE LINK BELOW TO JOIN THE WEBINAR:

[HTTPS://US02WEB.ZOOM.US/J/88900660100?pwd=C1UwVjB0SVpkK3NtWWNqNEFAC214Zz09](https://us02web.zoom.us/j/88900660100?pwd=C1UwVjB0SVpkK3NtWWNqNEFAC214Zz09)

CALL TO ORDER:

PLANNING COMMISSION RE-ORGANIZATION:

- 1) ELECTION OF PLANNING COMMISSION CHAIRPERSON
- 2) ELECTION OF PLANNING COMMISSION VICE-CHAIRPERSON

PLEDGE OF ALLEGIANCE:

ROLL CALL:

APPROVAL OF AGENDA:

“AT THIS TIME THE COMMISSION MAY ANNOUNCE ANY ITEMS BEING PULLED FROM THE AGENDA OR CONTINUED TO ANOTHER DATE OR REQUEST THE MOVING OF AN ITEM ON THE AGENDA.”

APPROVAL OF THE MINUTES:

WRITTEN COMMUNICATIONS:

PUBLIC COMMENTS (NON-AGENDA ITEMS):

“The public may address the Commission on any item of interest to the public that is not on the agenda, but is within the subject matter jurisdiction thereof. Please limit your comments to three (3) minutes.”

REPORTS AND REQUESTS:

NON-HEARING ITEMS:

PUBLIC HEARING CALENDAR (QUASI-JUDICIAL):

1. Coachella Canna Club Project

a) Conditional Use Permit No. 330 proposes to establish a **7170 square foot retail cannabis business and consumption lounge within the existing building** located at 46156 Dillon Road.

b) Conditional Use Permit No. 331 **proposes to modify the interior of the existing building to create a commercial kitchen and take-out window with outside seating (Chick Next Door) located at 46156 Dillon Road**

c) **Change of Zone No. 20-04 proposes to add the Retail Cannabis Overlay zone (R-C) to the existing C-G (General Commercial) Zone on the project site.**

2. Coachella Greenery Project

a) Conditional Use Permit 334 proposes to establish an 1100 square foot cannabis dispensary within units 1 and 3 of the existing industrial building located at 84-801 Avenue 48.

b) Conditional Use Permit 293, (Modification), proposes to modify the phasing plan in order to convert what was approved as an interim facility into an 1100 square foot retail cannabis business and in the future remove the existing building that will contain the dispensary and relocate the dispensary within Phase 1 of the cannabis cultivation project that was previously approved as part of CUP No. 293.

3. Ordinance No. 1176 (ZOA 21-02) An Ordinance of the City Council of the City of Coachella, California, Amending Sections 16.12.110 and 17.70.050 of the Municipal Code Regarding Notices of Public Hearing Related to Tentative Subdivision Maps and the Processing of Applications on Planning and Zoning Matters. City – Initiated.

INFORMATIONAL:

ADJOURNMENT:

*Complete Agenda Packets are available for public inspection in the
Planning Department at 53-990 Enterprise Way, Coachella, California, and on the
City's website www.coachella.org.*

THIS MEETING IS ACCESSIBLE TO PERSONS WITH DISABILITIES



STAFF REPORT
3/3/2021

TO: Planning Commission

FROM: Luis Lopez, Development Services Director

SUBJECT: Coachella Canna Club Project

- SPECIFICS:**
- a) Conditional Use Permit No. 330 proposes to establish a 7170 square foot retail cannabis business and consumption lounge within the existing building located at 46156 Dillon Road.
 - b) Conditional Use Permit No. 331 proposes to modify the interior of the existing building to create a commercial kitchen and take-out window with outside seating (Chick Next Door) located at 46156 Dillon Road
 - c) Change of Zone No. 20-04 proposes to add the Retail Cannabis Overlay zone (R-C) to the existing C-G (General Commercial) Zone on the project site.

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission adopt the following resolution for the Coachella Canna Club Project:

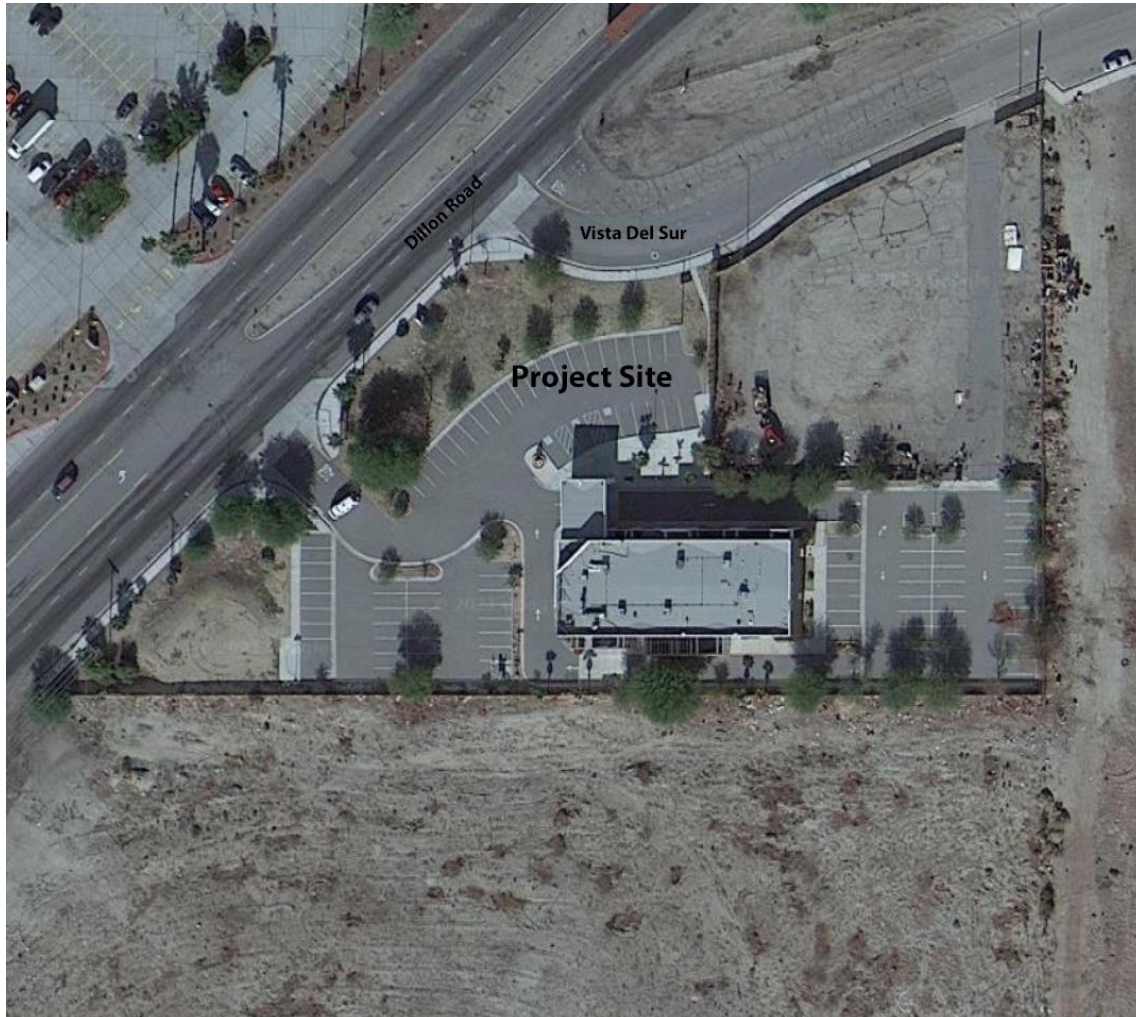
- 1) Resolution No. PC 2021-02 recommending approval to the Coachella City Council of Conditional Use Permit No. 330 that proposes to establish a 7170 square foot retail cannabis business and consumption lounge and Conditional Use Permit No. 331 that proposes to modify the interior of the existing building to create a commercial kitchen and take out window (Chick Next Door) along with outside seating; and Change of Zone 20-04 that proposes to add the Retail Cannabis Overlay Zone (R-C) to the property located at 46156 Dillon Road.

EXECUTIVE SUMMARY:

Conditional Use Permit No. 330 proposes to establish a 7170 square foot retail cannabis business and consumption lounge; Conditional Use Permit No. 331 proposes to modify the interior of the existing building to create a take-out restaurant (Chick Next Door) along with outside seating and Change of Zone 20-04 proposes to add the Retail Cannabis Overlay Zone (R-C) to the property located at 46156 Dillon Road.

BACKGROUND:

The above referenced applications are proposed on a 1.9-acre site located east of Dillon Road and south of Vista Del Sur as shown on the aerial photograph below. The address of the project site is 46156 Dillon Road.



The photographs below were taken in 2019. The first photograph was taken from Vista Del Sur and shows the north side of the existing building, the landscaped areas and the parking lot. As shown on the photograph, the site contains an existing building that was originally constructed in 2005 and given final occupancy permits by the City in January 2006.



The photograph below was taken from Dillon Road and illustrates the west side of the building, driveway access to the site off Dillon Road and the existing on-site landscaping.



History of the Project Site

According to building permit records, (see attachment 3) the Seventh Heaven Club Gentlemen’s Club began construction of the building in 2005 and was granted final occupancy permits in January 2006. Various other sexually oriented businesses, and a restaurant/nightclub (Culichi Town) occupied the project site from January 2006 through September 2019. The most recent tenant was the Chicas Gentlemen’s Club that occupied the building from March 2018 to September 2019. The building has been vacant since September 2019.

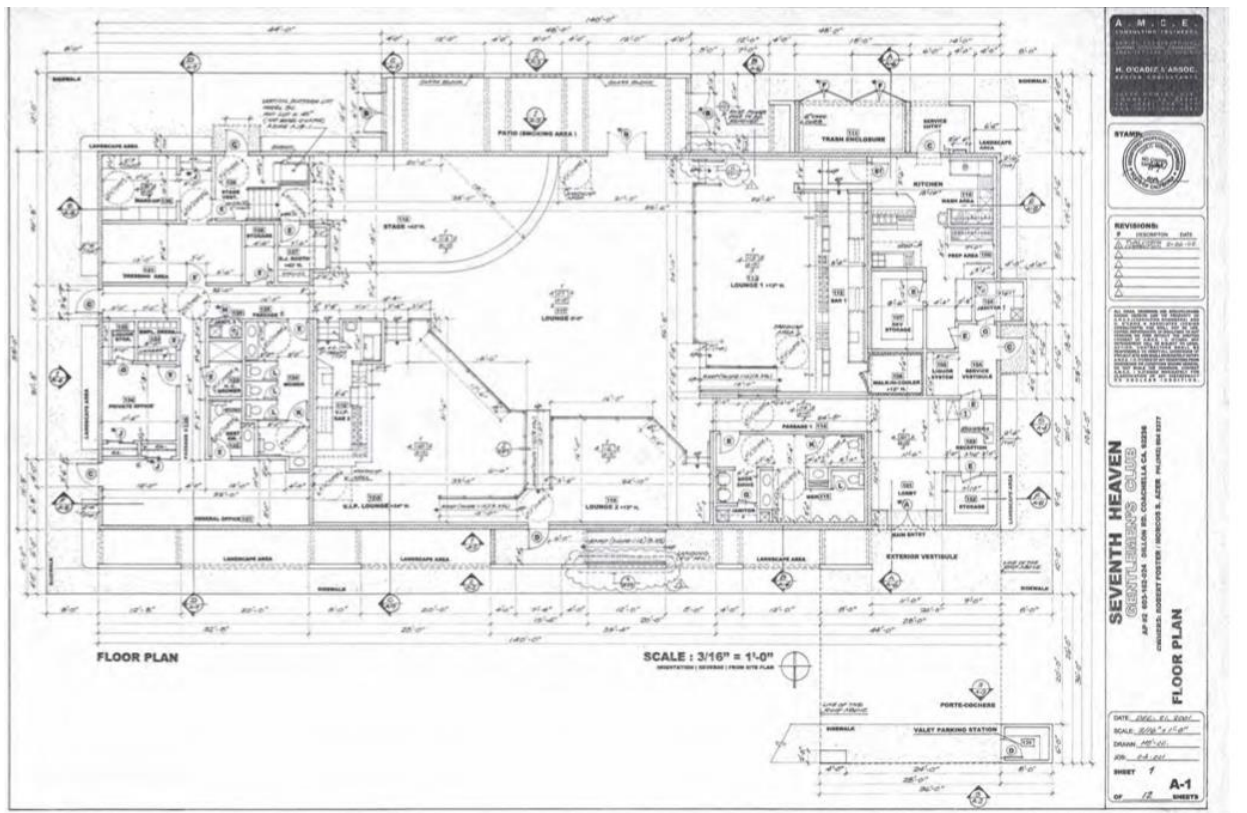
The existing building, parking lot and landscaped areas are consistent with the plans that were

approved in 2018 when Chicas Gentlemen’s Club was granted approval to operate the project site as a sexually oriented business.

Overview of the Coachella Canna Club Project: CUP 330 and CUP 331 and CZ 20-04

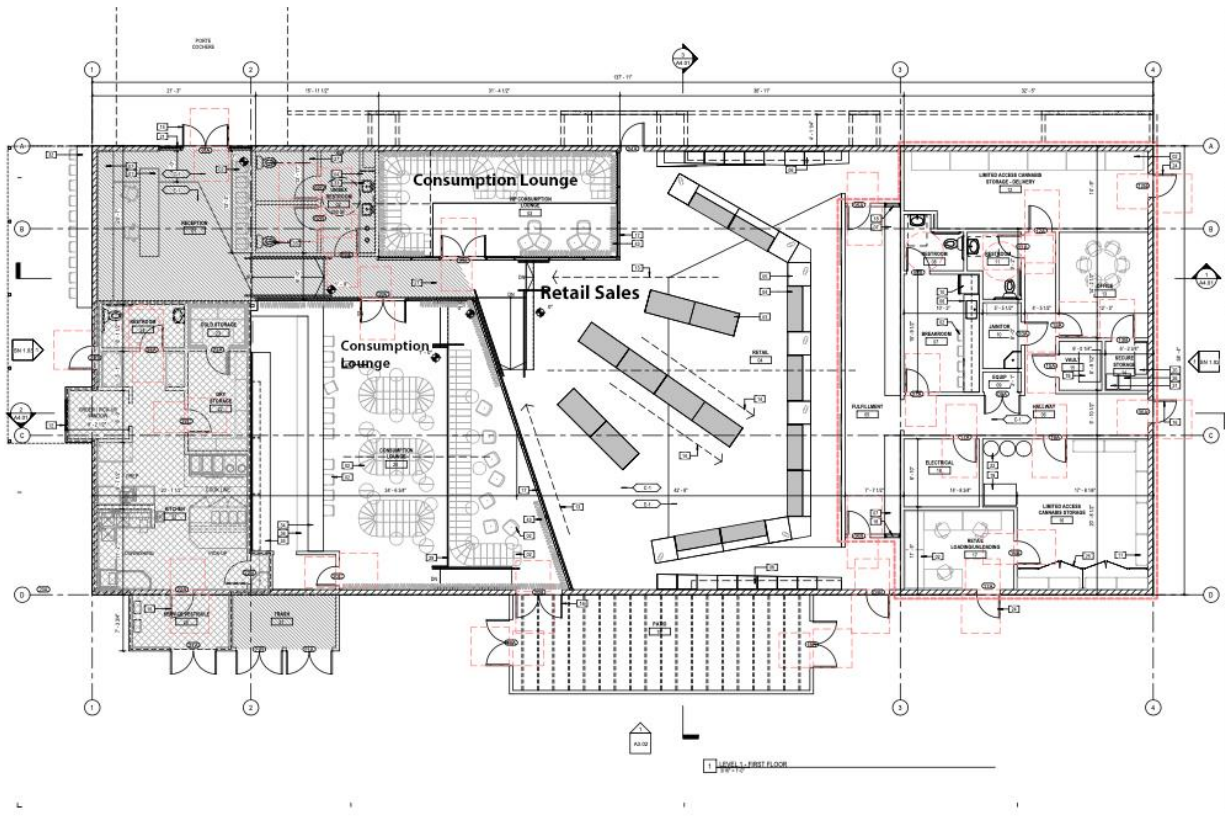
The Coachella Canna Club Project proposes to establish the following on the Project site:

CUP 330 proposes to establish a 7170 square foot retail cannabis business and consumption lounge within the existing building. Plans include modifications to interior partitions, doors and millworks, removal of grid ceilings and the installation of new ceilings and glass partitions. New plumbing fixtures will be installed, and mechanical and electrical systems will be brought up to current codes. A copy of the existing building floor plan is illustrated below.

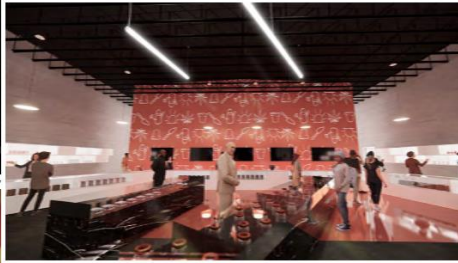
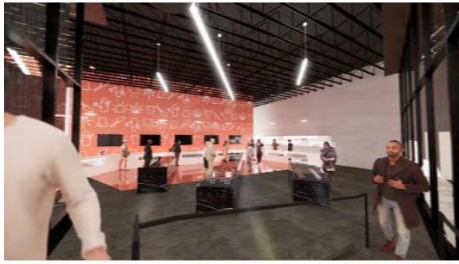


EXISTING CONDITIONS - BY OTHERS / FOR REFERENCE ONLY

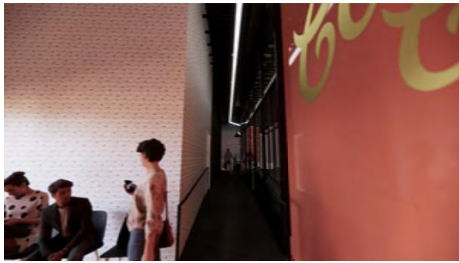
A copy of the proposed interior floor plan of the building is attached below and include a retail sales area and two consumption lounges.



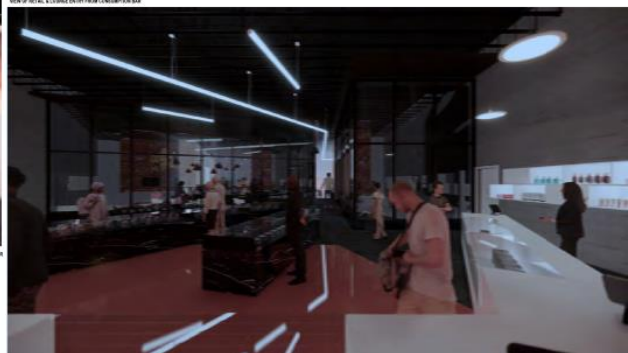
Artist renderings of the retail sales area and consumption lounges are illustrated below.



- FINISHES:**
- WALLS
 - FLOOR
 - CEILING
 - METAL
 - GLASS
 - PAINT
 - FABRIC/UPHOLSTERY
 - LIGHTING
 - FURNITURE
 - PLANTS
 - ALL COVERING



- FINISHES:**
- WALLS
 - FLOOR
 - CEILING
 - METAL
 - GLASS
 - PAINT
 - FABRIC/UPHOLSTERY
 - LIGHTING
 - FURNITURE
 - PLANTS
 - ALL COVERING



Exterior work will include the painting of all exterior sides of the building as illustrated on the exhibits below:



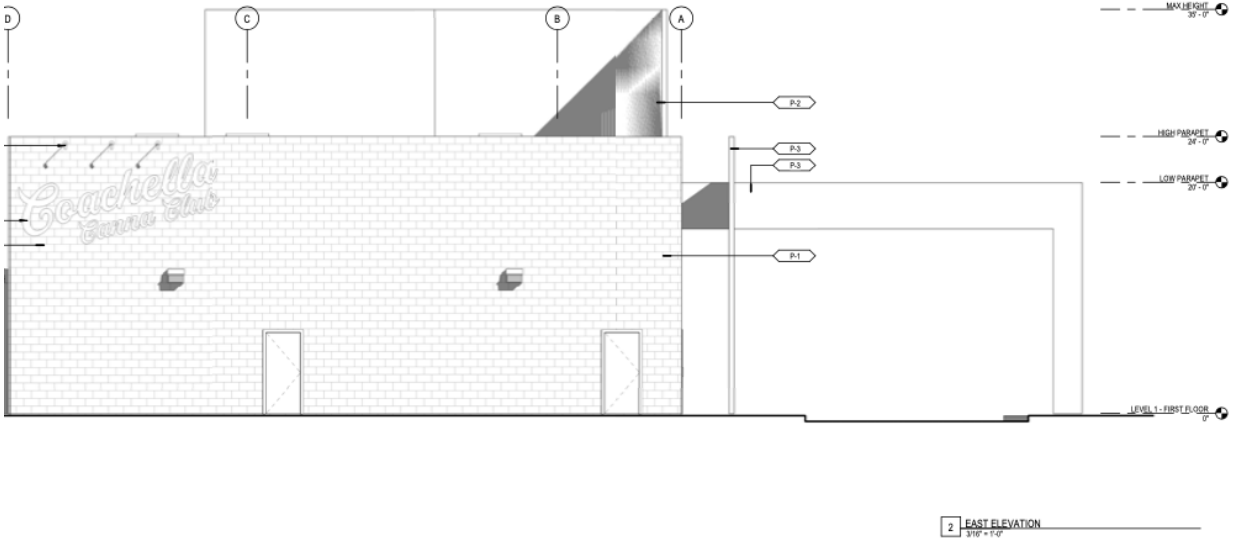
CUP 331 proposes to create a commercial take-out kitchen and take-out window including an outside seating area on the west side of the existing building as illustrated on the exhibit below. A new awning over the proposed take-out window and outdoor seating area is also planned as shown below.

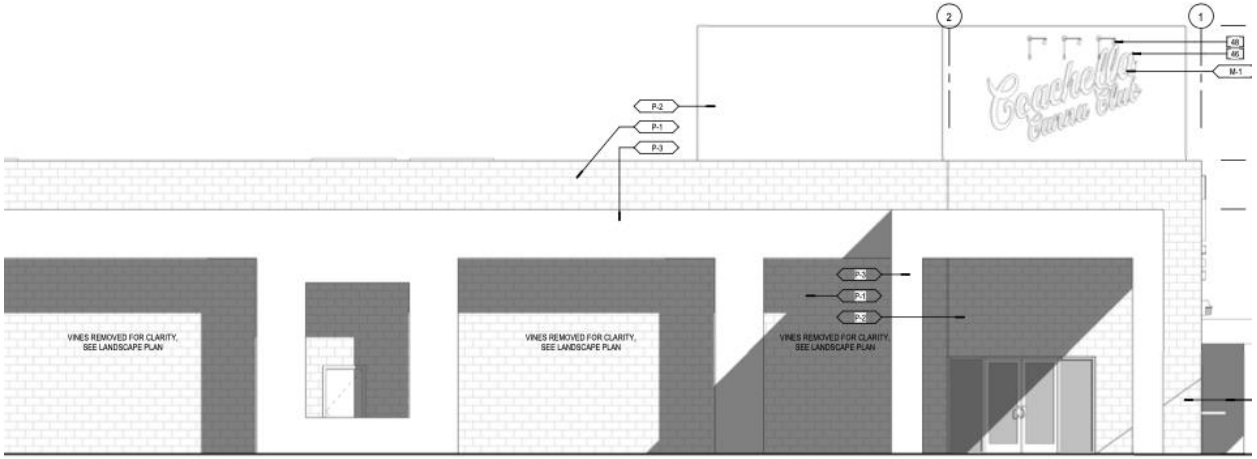


CZ 20-04 proposes to add the Retail Cannabis (RC) Overlay Zone to the existing General Commercial (CG) Zone on the project site as illustrated on the exhibit below:

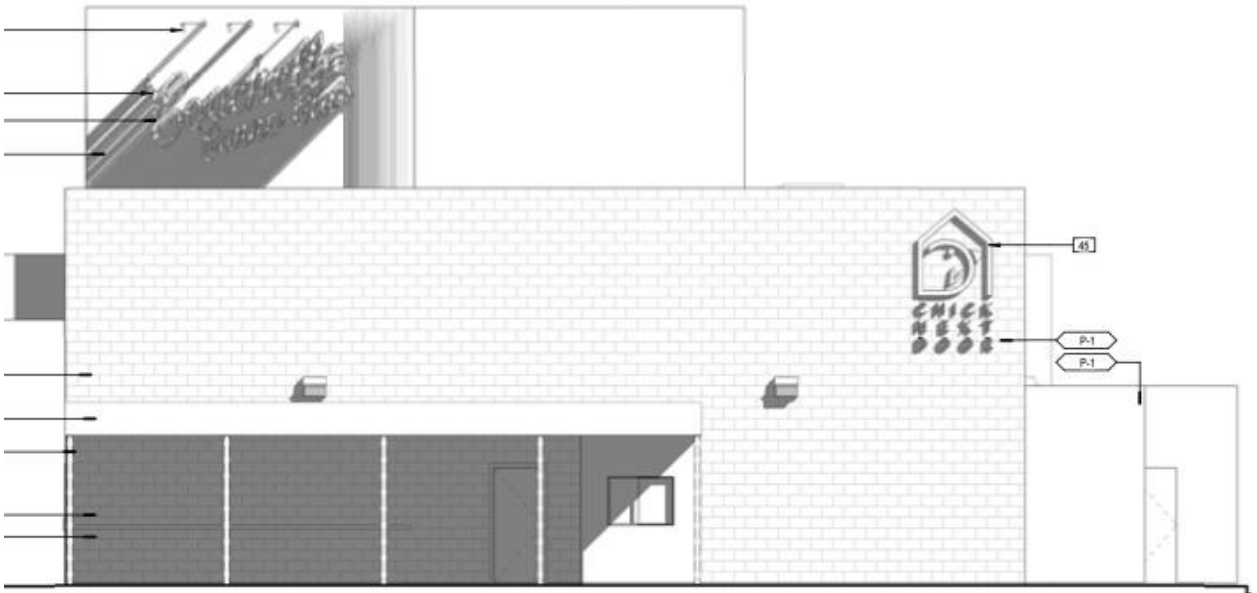
Signage

New wall signs will replace the existing wall signs located on the east, north and west sides of the building as shown below:





1 NORTH ELEVATION
3/16" = 1'-0"

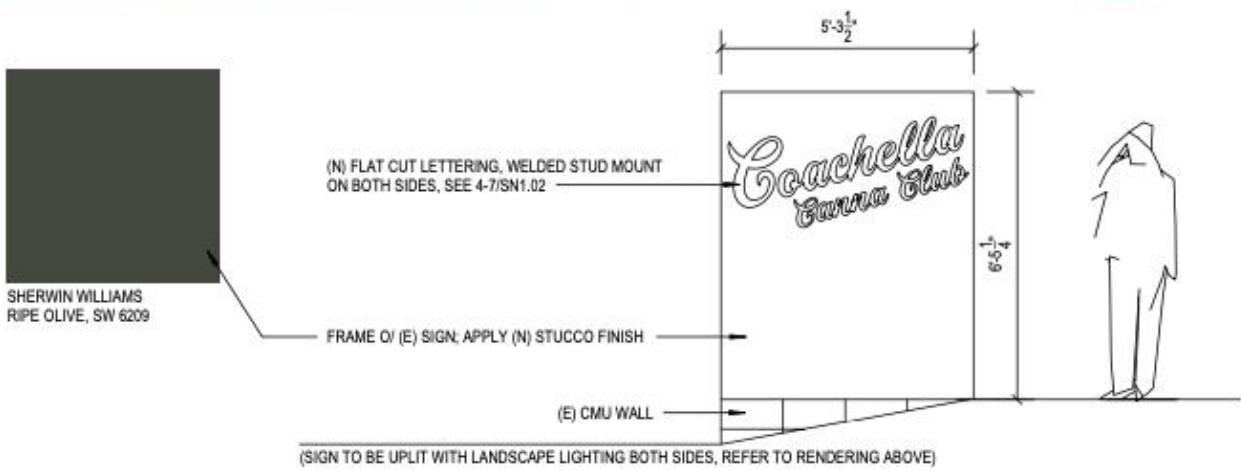


2 WEST ELEVATION
3/16" = 1'-0"

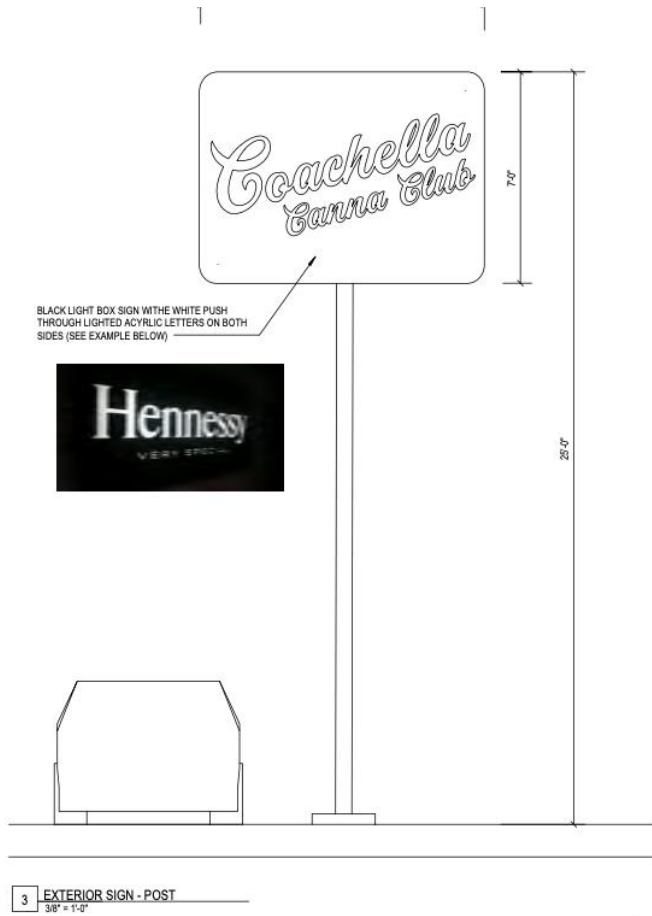
The Canna Club wall signs will be finished with a brass finish while the Chick Next Door wall sign will consist of extruded lit channel letters with an acrylic face and aluminum return as illustrated below:



New copy is proposed for the existing monument sign along Dillon Road as illustrated below.



A new 25-foot-high pole sign with 66.5 square foot of surface area will be constructed as shown below:



Landscaping

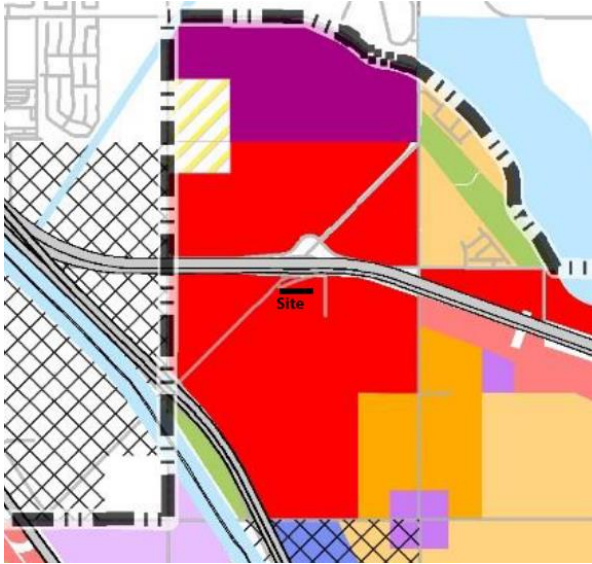
All existing landscaped areas will be upgraded to meet current City landscape requirements as shown on the exhibit below.



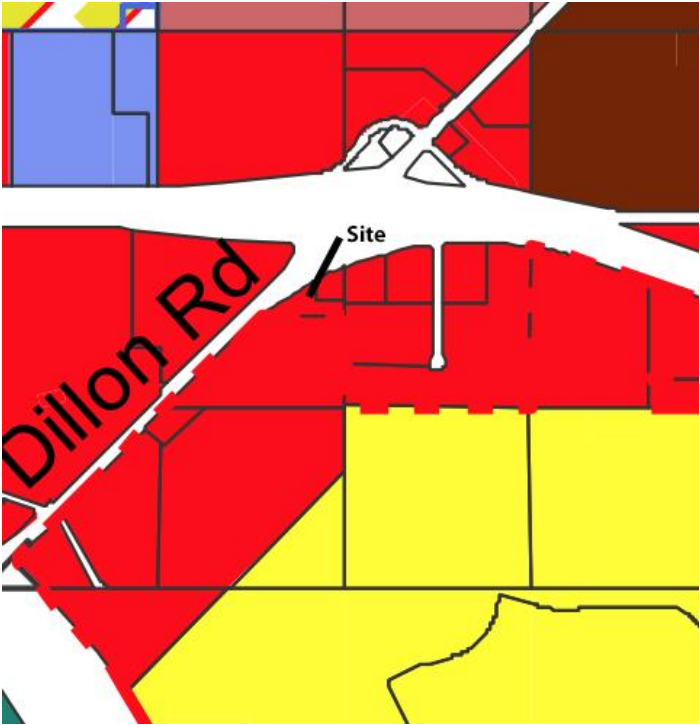
DISCUSSION/ANALYSIS:

Environmental Setting:

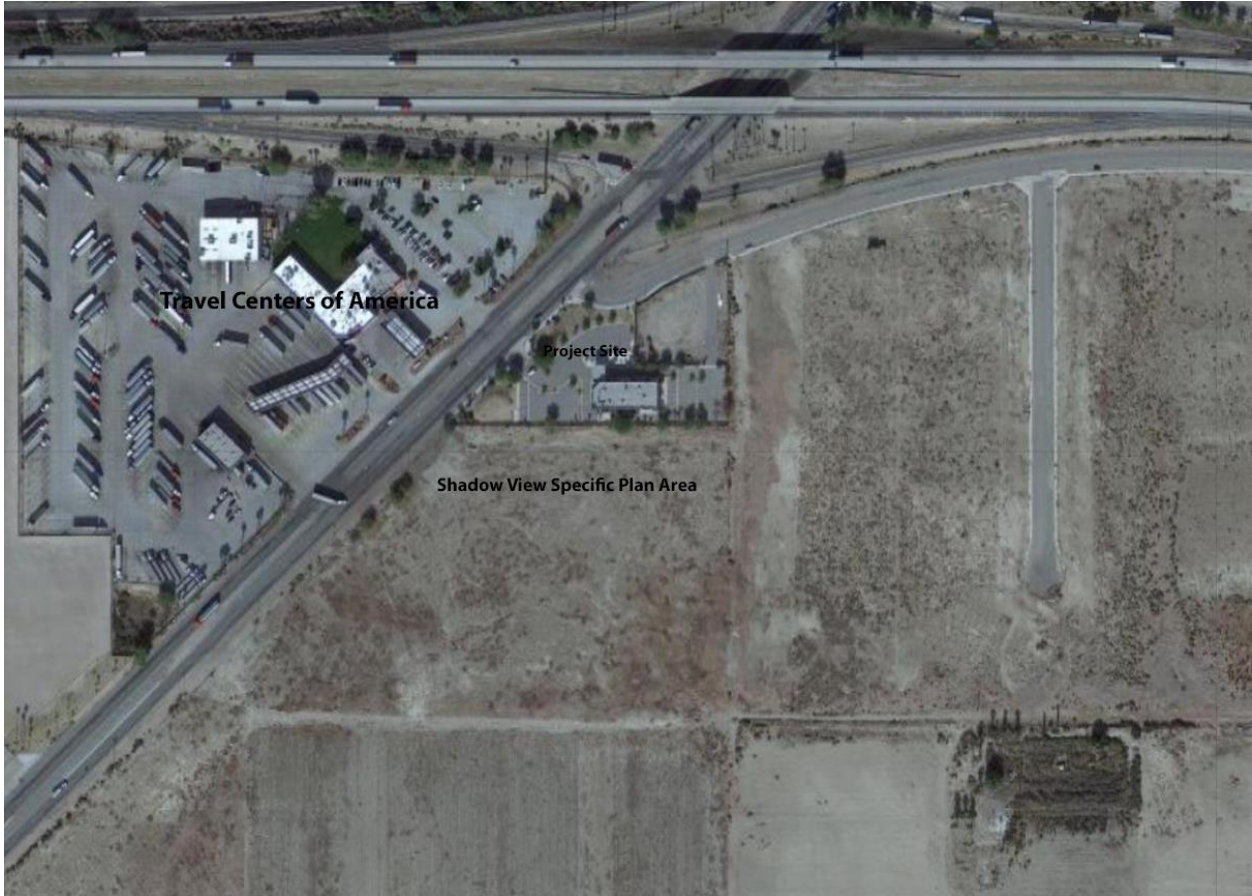
The site is designated Regional Retail District on the 2035 Coachella General Plan as illustrated on the exhibit below. Surrounding properties in all directions are also designated Regional Retail District on the 2035 Coachella General Plan.



The project site is zoned General Commercial (C-G) as illustrated on the exhibit below. Surrounding properties to the north, south, east and west are zoned C-G as well.



Surrounding land uses are illustrated on the aerial photograph below.



Property to the west across Dillon Road consists of the Travel Centers of America complex. Properties to the east, north and south are vacant. The approved Shadow View Specific Plan is located immediately south of the project site. The Shadow View Specific Plan designates that area as Planning Area 1 West which is planned for commercial/mixed use/high density overlay as illustrated on the attached exhibit.



Consistency with the Coachella General Plan

The proposed project is within the Regional Retail District land use designation of the General Plan 2035 Land Use Element. The project is consistent with the development intensity permitted by the Regional Retail District land use category.

Consistency with the (CG-RC) General Commercial Zone with Retail Cannabis Overlay

The project is consistent with the development standards of the CG-RC, General Commercial-Retail Cannabis Overlay Zone. Retail cannabis businesses are allowed in the Dillon Road sub-area, subject to obtaining a conditional use permit and meeting the distance requirements from certain land uses.

Consistency with Chapter 17.84 (Retail Cannabis Businesses and Chapter 17.85 (Commercial Cannabis Activity)

The proposed project is consistent with the requirements of both Chapters 17.84 and Chapter 17.85 of the Coachella Municipal Code. The project site functions as a site in excess of five acres due to its reciprocal access with an adjoining lot. Similarly, the subject site will have adequate utility service connections. The subject site is more than 600 feet from any residential district.

ENVIRONMENTAL REVIEW:

The City has determined that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, (Class 1) Existing Facilities, of the CEQA guidelines that provides an exemption for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use including interior or exterior alterations involving such things as interior partitions, plumbing and electrical conveyances. CUP 330 CUP 331 and Change of Zone 20-04 meet the criteria for a Section 15301, Class 1 CEQA exemption.

CORRESPONDENCE

Please see Attachment No. 5 for correspondence received for this project from IID, Building Official, Fire Department and Environmental Compliance.

CONCLUSIONS AND RECOMMENDATION:

It is staff's recommendation that the Planning Commission open the public hearing and allow input from all proponents and opponents of the proposed project. Because the proposed Projects is in conformance with the City's General Plan and the proposed uses would be consistent with the Municipal Code and compatible with the surrounding uses in the area, it is staff's recommendation that the proposed project be approved by taking the following action:

Motion to adopt Resolution No. PC 2021-02 recommending approval to the City Council of Conditional Use Permit No. 330, Conditional Use Permit 331 and Change of Zone 20-04 with the findings and attached conditions of approval.

Attachments: Resolution No. PC 2021-02 for CUP 330, CUP 331 and CZ 20-04.
Exhibit A: Conditions of Approval for CUP 330 and CUP 331
Historical Building Permits
Architectural Exhibits

RESOLUTION NO. PC 2021-02

A RESOLUTION OF THE CITY OF COACHELLA PLANNING COMMISSION RECOMMENDING APPROVAL TO THE CITY COUNCIL FOR CONDITIONAL USE PERMIT NO. CUP 330, CONDITIONAL USE PERMIT NO. 331 AND CHANGE OF ZONE 20-04. CONDITIONAL USE PERMIT 330 PROPOSES TO ESTABLISH A 7170 SQUARE FOOT RETAIL CANNABIS BUSINESS AND CONSUMPTION LOUNGE IN AN EXISTING VACANT BUILDING. CONDITIONAL USE PERMIT 331 PROPOSES TO MODIFY THE INTERIOR OF THE EXISTING BUILDING TO CREATE A COMMERCIAL KITCHEN, TAKE OUT WINDOW AND OUTSIDE SEATING AREA. CHANGE OF ZONE NO. 20-04 PROPOSES TO ADD THE RETAIL CANNABIS OVERLAY ZONE (RC) TO THE EXISTING C-G (GENERAL COMMERCIAL) ZONE ON THE PROJECT SITE; THE PROJECT SITE IS LOCATED ON APPROXIMATELY 1.9 ACRES AT 46156 DILLON ROAD; COACHELLA CAN LLC-ARMEN PARONYAN, APPLICANT.

WHEREAS Armen Paronyan (on behalf of Coachella Canna Club) filed an application for Conditional Use Permit 330, Conditional Use Permit 331 and Change of Zone 20-04; Assessor's Parcel No. 603-102-024; and,

WHEREAS the Planning Commission conducted a duly noticed public hearing on Conditional Use Permit No. 330, Conditional Use Permit 331 and Change of Zone 20-04 on March 3, 2021 at the Coachella Permit Center, 53-990 Enterprise Way, Coachella, California; and,

WHEREAS the Applicant and members of the public were present and were afforded an opportunity to testify regarding the Project; and,

WHEREAS, the Project is permitted pursuant to Chapter 17.38 of the Coachella Municipal Code, and the attendant applications for Conditional Use Permits 330 and 331 and Change of Zone 20-04 to allow the Project; and,

WHEREAS the proposed use is necessary or desirable for the development of the community, is consistent with the objectives of the City's General Plan, and is not detrimental to the existing uses or the uses specifically permitted in the zone in which the proposed use is to be located; and,

WHEREAS the proposed site is adequate in size and shape to accommodate the proposed development; and,

WHEREAS the site for proposed use relates properly to streets which are designed to carry the type and quantity of traffic to be generated by the proposed use; and,

WHEREAS, the proposed project is exempt from the California Environmental Quality Act, as amended; and,

WHEREAS the conditions as stipulated by the City are necessary to protect the public health, safety and welfare of the community.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Coachella, California hereby recommends to the City Council approval of Conditional Use Permit No. 330, Conditional Use Permit 331 and Change of Zone 20-04 subject to the findings listed below and the attached Conditions of Approval for the Coachella Canna Club Project (CUP 330 and CUP 331)

(contained in “Exhibit A” and made a part herein).

Findings for Conditional Use Permit No. 330 and Conditional Use Permit 331 and Change of Zone 20-04

1. The Conditional Use Permits are consistent with the goals, objectives, policies, and implementation measures of the Coachella General Plan 2035. The site has a Regional Retail District land use designation that allows for the proposed developments. The proposed uses on the site will draw customers from the freeway traffic and abroad, and the uses are in keeping with the policies of the Regional Retail District land use classification. The Project is internally consistent with other General Plan policies for this type of development.
2. The project is in compliance with the applicable land use regulations and development standards of the City’s Zoning Code. The site plan for CUP 330 proposes to establish a 7170 square foot retail cannabis business and consumption lounge within the existing building. Conditional Use Permit 331 proposes to modify the interior of the existing building to create a take-out commercial kitchen, take out window and outdoor seating area. Change of Zone No. 20-04 proposes to add the Retail Cannabis Overlay zone (R-C) to the existing C-G (General Commercial) Zone on the project site. The project site is located on approximately 1.9 acres at 46156 Dillon Road. The Projects comply with the applicable C-G (General Commercial) zoning standards as proposed and with Chapter 17.84 and 17.85 of the Coachella Municipal Code regarding Retail Cannabis Businesses and Commercial Cannabis Activity. Change of Zone 20-04 proposes to add the Retail Cannabis Overlay Zone (R-C) on the property.
3. Every use, development of land and application of architectural guidelines and development standards shall be considered on the basis of the suitability of the site for a particular use or development intended, and the total development, including the prescribed development standards, shall be so arranged as to avoid traffic congestion, ensure the protection of public health, safety and general welfare, prevent adverse effects on neighboring property and shall be in accord with all elements of the general plan. The Project site is within the Regional Retail District land use designation of the City’s general plan. This category provides for a broad spectrum of commercial land uses. The proposed uses are compatible with existing adjacent and proposed land uses.
4. The Project will be compatible with neighboring properties with respect to land development patterns and application of architectural treatments. The plans submitted for this Project propose a retail cannabis business and consumption lounge and a take-out commercial kitchen that is permitted in the C-G (General Commercial) zone pursuant to the approved Conditional Use Permits and a Change of Zone to add the Retail Cannabis Overlay to the property. Surrounding properties to the project site include commercial land uses and vacant properties that are planned for commercial land uses. As such, the Project will be in keeping with the scale, massing, and aesthetic appeal of existing land uses and future development.
5. The City has determined that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301-(Class 1) Existing Facilities of the CEQA guidelines that provides an exemption for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use including interior or exterior alterations involving such things as interior partitions, plumbing and electrical conveyances. CUP 330 CUP 331 and Change of Zone 20-04 meet the criteria for a Section 1530-Class 1 CEQA exemption.

PASSED APPROVED and ADOPTED this 3rd day of March 2021.

Stephanie Virgen, Chairperson
Coachella Planning Commission

ATTEST:

Yesenia Becerril
Planning Commission Secretary

APPROVED AS TO FORM:

Carlos Campos
City Attorney

I HEREBY CERTIFY that the foregoing Resolution No. PC-2021-02, was duly adopted at a regular meeting of the Planning Commission of the City of Coachella, California, held on the 3rd day of March 2021, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Yesenia Becerril
Planning Commission Secretary

“EXHIBIT A”

CONDITIONS OF APPROVAL FOR CUP 330, THE COACHELLA CANNA CLUB RETAIL CANNABIS BUSINESS AND CONSUMPTION LOUNGE AND FOR CUP 331 FOR A COMMERCIAL KITCHEN, TAKE OUT WINDOW AND OUTDOOR SEATING AREA

General Conditions

1. Conditional Use Permit No. 330 and Conditional Use Permit 331 are contingent upon City Council approval and adoption of the attendant Change of Zone 20-04 application. Conditional Use Permit No. 330 hereby approves the establishment of a 7170 square foot retail cannabis business and consumption lounge located in the existing building at 46156 Dillon Road. Conditional Use Permit No. 331 hereby approves the establishment of a commercial kitchen and take-out window along with outside seating at 46156 Dillon Road.
2. The Applicant shall secure building permits for all façade renovations and tenant improvements for the businesses through the City’s Building Division and the Riverside County Fire Marshal’s office prior to the commencement of business activities. Hours of operation for the retail cannabis business may be from 9:00 am to 10:00 pm daily, unless otherwise restricted by the State of California. The owner shall procure a City Cannabis Regulatory Permit and a State License prior to commencement of business activities.
3. Conditional Use Permit No. 330 and Conditional Use Permit No. 331 shall be valid for 12 months from the effective date of said City Council approvals unless the applicant requests an extension of time and granted by the Planning Commission. Issuance of building permits and pursuit of construction will vest the Conditional Use Permits.
4. Construction plans for tenant improvements shall be in conformance with construction drawings and landscaping plans designed in accordance with the Coachella Canna Club Retail Cannabis Business and the proposed commercial kitchen/take out window/outside seating area and the conditions of approval imposed below:
 - a. All exterior building materials and colors shall substantially match the exhibits submitted with the Coachella Canna Club Development applications.
 - b. All fencing or garden walls shall be subject to issuance of a separate building permit by the City Building Division.
 - c. All parking lot lighting for the Project shall be consistent with the architectural design exhibits of the Project, as approved by the Development Services Director.
 - d. All masonry/wrought iron perimeter walls and garden walls shall be consistent with the submitted plans, subject to review by the Development Services Director, and subject to the City’s Building Codes.

5. All plans, as shown, are considered “conceptual,” subject to revisions as called out by the conditions of this resolution. The plans shall not be stamp-approved until all conditions requesting revisions have been satisfied during the building plan check process. Any substantial changes to the plans, including changes shown on future building permit plans deemed by Staff to not be within substantial conformance with this approval, will require an amendment to the approval of the conditional use permits, including architectural features, materials and site layout.
6. The project shall comply with all applicable codes, laws and regulations, regardless of whether they are listed in these conditions. This includes conformance with the requirements of the adopted U.B.C., U.P.C., U.M.C., N.E.C., including all requirements of the South Coast Air Quality Management District, the Riverside County Fire Department and any requirements by any other agency having jurisdiction on the project.
7. The applicant shall defend, indemnify and hold harmless the City of Coachella, its officials, officers, employees, and agents from and against any claim, action, or proceeding against the City, its officials, officers, employees or agents to attack, set aside, void or annul any project approval or condition of approval of the city concerning this project, including but not limited to any approval or condition of approval or mitigation measure imposed by the City Council or Planning Commission. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees and agents in the defense of the City Attorney, within five days of the effective date of this approval.
8. All plan submittals are the responsibility of the developer; this includes plan submittals to the City of Coachella, the Riverside County Fire Department or to other agencies for whom plan review and approval is required.
9. Final occupancy of the commercial kitchen/take out window/outside seating area (CUP 331) is contingent on the occupancy the retail cannabis business and consumption lounge (CUP 330). The commercial kitchen/take out window/outside seating area business must be open and operational for business prior to, or concurrent with, the opening of the retail cannabis business.
10. Prior to the issuance of building permits, grading or construction, the following mitigation measures shall be implemented:
 - a) In the event any onsite structures are demolished, an asbestos inspection of onsite structures shall be conducted by a qualified professional in accordance with currently accepted methods and protocols. The inspection shall include, but not be limited to

visual inspection, sampling, and laboratory analysis for the presence of asbestos products, including asbestos-containing material (ACM) and asbestos-containing construction material (ACCM). Polarized Light Microscopy and other methods consistent with the US EOA 600 method shall be applied to this investigation. A comprehensive report that documents methods, findings, and appropriate mitigation measures and/or recommendations shall be provided to the City.

- b) In the event any onsite structures are demolished, a lead-based paint inspection of onsite structures shall be conducted by a qualified professional in accordance with currently accepted methods and protocols. Inspections shall be carried out in accordance with US Department of Housing and Urban Development (HUD) guidelines, as well as OSHA Lead Exposure in Construction, Code of Federal Regulations, Title 29, Section 1926. The inspection shall include, but not be limited to visual inspection, sampling, and analysis of materials suspected of containing lead paint or other lead-based materials and coatings. A comprehensive report that documents methods, findings, and appropriate mitigation measures and/or recommendations shall be provided to the City.
- c) Prior to the start of any activity that might disturb materials potentially containing asbestos, lead, and/or other hazardous or potentially hazardous materials, a qualified and licensed contractor shall be hired to complete necessary abatement procedures. All demolition and other project related actions that might potentially disturb hazardous materials shall be performed by properly trained and qualified personnel. Remediation actions are expected to include but will not be limited to the following:
 - 1. Each part of the building from which asbestos is being removed shall, as appropriate, be sealed off in order to prevent contamination of the other area. Methods of area containment may include polyethylene film, duct tape, negative air pressure machines and other appropriate means depending on the type of asbestos materials encountered.
 - 2. Specially designed vacuum cleaners that are designed for asbestos containment (class H) can be safely used when cleaning up during and after asbestos removal.
 - 3. Removed asbestos and materials with embedded or coated with asbestos shall, as appropriate, be double wrapped in plastic and driven to a landfill.
- d) If surficial or buried materials within the project site are found to contain potentially hazardous materials (such as: asbestos-containing material, lead-based paint, and mercury or PCB-containing material) such materials shall be removed properly prior to any further site disturbance in the affected area, and disposed of at appropriate landfills or recycled, in accordance with the regulatory guidance provided in California Code of Regulation (CCR) and following the requirements of the Universal Waste Rule (40 CFR part 9).
- e) During project construction and implementation, the handling, storage, transport, and

disposal of all chemicals, including herbicides and pesticides, runoff, hazardous material and waste used on, or at, the project site, shall be in accordance with applicable local, state, and federal regulations.

- f) Vapor Encroachment Screening shall be conducted in accordance with the ASTM Standard E2600-10 Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions to identify the likelihood of migrating vapors to encroach on the subject property, thereby creating a Vapor Encroachment Condition (VEC). A complete report of findings and recommended mitigation measures, if any, shall be provided to the City prior to the issuance of building permits.
- g) A vapor intrusion risk evaluation shall be conducted in accordance with most recent version of the CalEPA Department of Toxic Substances Control's "Final Guidance for the Evaluation and Mitigation of Subsurface Vapor Intrusion to Indoor Air" to identify the likelihood of vapor intrusion into future buildings and potential impacts on indoor air quality. A complete report of findings and recommended mitigation measures, if any, shall be provided to the City prior to the issuance of grading and building permits.
- h) The applicant shall provide the City with copies of permits required by the South Coast Air Quality Management District, or a written confirmation that no permits are necessary.
- i) The applicant shall satisfy all requirements of the Fire Department relating to construction, operation, and emergency response. No building permits shall be issued, and no occupancy of the buildings shall be permitted prior to written approval by the Fire Department.

Engineering – Grading and Drainage:

- 11. Site access improvements shall be in conformance with the requirements of Title 24 of the California Administrative Code. This shall include access ramps for off-site and on-site streets as required.
- 12. If the applicant is planning to build a wall(s), separate permits shall be required for wall construction. The maximum height of any wall shall be limited to six (6) feet as measured from an average of the ground elevations on either side.

Engineering – Street Improvements:

- 13. Applicant shall construct all off-site and on-site improvements including street pavement, curb, gutter, sidewalk, street trees, perimeter walls, perimeter landscaping and irrigation, storm drain, street lights, and any other incidental works necessary to complete the improvements. Driveways shall conform to City of Coachella standards for commercial driveways with a minimum width of 24.00 feet and curbed radius entrances.
- 14. Applicant shall obtain an encroachment permit for any improvements constructed within public right-of-way including alleys.

Engineering-Sewer and Water Improvements

15. Sewer & Water Improvement Plans prepared by a California Registered Civil Engineer shall be submitted for engineering plan check and City Engineer approval.
16. Applicant shall construct all off-site and on-site water improvements and any other incidental works necessary to complete the improvements

Engineering – General:

17. The developer shall submit a Fugitive Dust Control and Erosion Control plan in accordance with Guidelines set forth by CMC and SCAQMD to maintain wind and drainage erosion and dust control for all areas disturbed by grading. Exact method(s) of such control shall be subject to review and approval by the City Engineer. No sediment is to leave the site. Additional securities, in bond form, in amount of \$2,000.00 per acre of gross area, and a one-time cash deposit of \$2,000.00 are required to insure compliance with this requirement. No work may be started on or off site unless the PM-10 plan has been approved, the original plans, and executed dust control agreement, are filed in the engineering department at the City of Coachella.
18. The applicant shall pay all necessary plan check, permit and inspection fees. Fees will be determined when plans are submitted to the City Engineering Department for plan check.
19. If applicable, Applicant shall comply with the valley wide NPDES permit requirements including but not limited to submittal of a Preliminary WQMP for plan review accompanied by a \$3,000 plan check deposit and a Final WQMP for final approval including executed maintenance agreement. All unused plan check fees will be refunded to the applicant upon approval of the Final WQMP.

Engineering – Completion:

20. “As-built” plans shall be submitted to and approved by the City Engineer prior to acceptance of the improvements by the City. All off-site and on-site improvements shall be completed to the City Engineer prior to acceptance of improvements for maintenance by the City.

21. Prior to issuance to of certificate of occupancy, all public improvements, including landscaping and lighting of the retention basin, and landscaped areas along the exterior streets, shall be completed to the satisfaction of the City Engineer

Environmental Compliance:

22. The applicant shall comply with the following items prior to issuance of building permits:
 - a) Facility will be required to submit detailed plumbing plans for water and sewer
 - b) Facility will be required to submit a fixture count worksheet to determine additional loading
 - c) Facility will be required to verify condition of existing or install a grease interceptor device
 - d) Facility will be required to submit a wastewater survey for all food service establishments
23. Prior to the issuance of a building permit, the applicant shall pay all Development Fees to the City; including outside agency fees such as sewer water and utilities. Copies of receipts shall be provided to the Development Services Department prior to permit issuance.
24. The applicant shall be responsible for paying all applicable development and processing (plan check, inspection, etc.) fees associated with this project.
25. The applicant shall pay all required water connection fees.

Desert Sands Unified School District

26. The Desert Sands Unified School District is authorized by the State Legislature to levy developer fee on commercial development. The Applicant or successor in interest shall pay any applicable fees in effect at the time of building permit issuance. The fees collected will be used to assist in the housing of students within the District.
27. The applicant shall obtain separate sign permits for all proposed on-site signs, including all wall signs, monument signs and freestanding signs.

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



DATE: **02/05/2018**
PERMIT NO: **BL-2018-02-12675**

Item 1.

Inspection Request Require 24 Hour Notice
(760) 398-3002

USE ZONE:
OCCUPANCY: CONSTR TYPE: SQ FT:

Project Address: 46156 DILLON RD
COACHELLA CA 92236

Project Valuation: \$ 0.00
PARCEL #: 603102024
LOT #: 2
TRACT #: 0.00

Applicant's Name: WILLIAM GRIVAS
Owner's Name: WILLIAM GRIVAS
Owner's Address: PO BOX 2
CARDIFF CA 92236

Phone: (858) 436-7988
Fax:

Contractor's Name:
Contractor's Address:

Phone:
Fax:
Business Lic:
State Licence:
Contact Phone:

Contact Person:

Project Name:
Permit Type: MISCELLANEOUS BUILDING PERMIT
Description of Work: CHANGE OF OCCUPANCY/CHANGE OF USE TO NIGHTCLUB, ADULT ENTERTAINMENT UNDER
Condition: USE CLASSIFICATION B. REGARDING TEMPORARY CERTIFICATE OF OCCUPANCY TO BE 45

FEE(S):

BUILDING FEE \$256.00

TOTAL FEES: \$ 256.00

CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed *Application and Permit* and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is

(Applicant Signature)

Building

Planning

Copy To Building 760 398 5421
Mr Lopez

Item 1.



CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES

DATE:
PERMIT NO:
USE ZONE:
OCCUPANCY: CONSTR TYPE: SQ FT:

INSPECTION REQUEST REQUIRE 24 HOUR NOTICE
(760) 398-3002

Project Address:
Dirección del Proyecto: 46156 Dillon Road

Project Valuation:
Evaluación del Proyecto: _____

Applicant's Name: William L. GRIVAS
Nombre del Solicitante:
Owner's Name: P.O. Box 2
Nombre del Propietario:
Owner's Address: Cardiff, CA 92007
Dirección del Propietario:

PARCEL#
LOT#:
TRACT#:
Phone Number:
Número de Telefono:

Fax: 858 436 7988
Fax:

Contractor's Name: OWNER
Nombre del Contratista:
Contractor's Address:
Dirección del Contratista:

Phone Number: 619 518 8633
Número de Telefono:
Fax:
Fax:

Contact Person:
Persona de Contacto

Bus Lic/Licencia:
State Lic/Licencia del Estado:
Contact Phone:
Telefono de Contacto:

Project Name/ Nombre del Proyecto:
Permit Type/ Tipo de Permiso:
Description of Work/ Descripción de los trabajos:
Condición/Condición:

45 DAY TEMPORARY COFO
Change of USE TO NIGHTCLUB,
ADULT ENTERTAINMENT UNDER USE CLASSIFICATION B

ELECTRICAL	MECHANICAL	PLUMBING
# OF SVCS 600 V/UP TO 200 AMPS	# AC/ BOILERS UP TO 100K BTU	# OF BACKFLOW DEVICES <=2"
# OF SVCS 600 V/ OVER 200 AMPS	# AC/ BROILERS 100K-500K BTU	# OF BACKFLOW DEVICES >=2"
# OF SVCS 600 V/ OVER 1000 AMPS	# AC/ BROILERS 500K BTU- 1M BTU	# OF PLUMBING FIXTURES
# OF TEMP POWER SERVICES	# AC/ BROILERS 1M BTU- 1.75M BTU	# OF PRIVATE SEWAGE DISPOSAL
# OF SUB-POLES	# AC/ BROILERS OVER 1.75M BTU	# OF SEPTIC TANKS
# OF ELECT GENERATORS/RIDES	# OF A/C UNITS	# OF SEWER CONNECTIONS
# OF BOOTH LIGHTING	# OF AIR HANDLERS < 10K CFM	# OF WATER SERVICE
# OF FIXTURES FOR REPAIR/SLT	# OF AIR HANDLERS > 10K CFM	# OF WATER HEATERS
# OF ELECTRICAL FIXTURES	# OF APPLIANCE VENTS	# OF GAS SYSTEMS
# OF RESIDENTIAL APPLIANCES	# OF FURNACES UP TO 100K BTU	# OF VACUUM/BACKFLOW DEVICES
# OF RECEPTACLES/SWITCHES/OUTLETS	# OF FURNACES OVER 100K BTU	# OF LAWN SPRINKLERS
# OF POWER APPARATUS	# OF INCINERATORS- DOMESTIC	# SWIMMING POOL/PUBLIC POOL
# OF PRIVATE SWIMMING POOL(S)	# OF EXHAUST FANS	# OF SWIMMING POOL/PUBLIC SPA
	# COMM. RANGE HOODS	# OF SWIMMING POOL/PRIVATE POOL
		# OF SWIMMING POOL/PRIVATE SPA
		# OF INDUST WASTE INTERCEPTOR

CERTIFICATION APPEARING ON APPLICATIONS
I have carefully examined the above completed "Application and Permit" and do hereby certify that all information herein is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify, and keep harmless the City of Coacheella against all liabilities, judgments, costs and expenses which may in any way become against the City in consequence of the granting of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coacheella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications. Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days.

[Signature] FEB 5 2018
Applicant's Signature

[Signature] 2/5/18
[Signature] 2/5/18
Building
Planning

CHANGE OF USE

BUILDING PERMIT NO. _____

CITY OF COACHELLA, CA
1515 SIXTH STREET
COACHELLA, CA. 92236 (760) 398-3002

Building Address: 46156 Dillon Road

Applicant: William L. GRIVAS

Mailing Address: P.O. Box 2

City: CARDIFF Zip: 92007 Tel: 6195188633

Owner: SAME AS ABOVE

Mailing Address: _____

City: _____ Zip: _____ Tel: _____

Contractor: OWNER

Mailing Address: _____

City: _____ Zip: _____ Tel: _____

State Lic. & Class: _____ City License #: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provision of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class: _____ License #: _____

Date: _____ Contractor: _____

OWNER-BUILDER DECLARATION

I, hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Sec. 703.1.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and professions Code) or that he or she is exempt there from and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own

employees provided that such improvements are not intended or offered for sale. If, however, the building or improvement sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

Item 1.

I, as owner of the property, am exclusively contracting with licensed contractor's to construct the project (Sec. 7044, business and Professions Code: the Contractor's License Law does not apply to owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

I am exempt under Sec. _____ B & P.C for this reason

Date: _____ Owner: _____

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier: _____ Policy #: _____ (This section need not be completed if the permit is for one hundred dollars (\$100) or less).
- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provide for in Section 3706 of the Labor Code, interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

I, hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civ. C).

Lender's Name _____

Address: _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Date: Feb 5 2018 Applicant Signature: [Signature]

CHANGE OF USE



February 1, 2018

Bill Grivas
503 Pacific Ave
Solana Beach CA 92075

Subject: Temporary Certificate of Occupancy Agreement Letter
46156 Dillon Road, Coachella, California

Dear Mr. Grivas:

Per our discussions with you and the evidence submitted showing an executed agreement with your landscape installation company, and in consideration of allowing the "Chicas Gentlemen's Club" business to open in an expeditious manner pending completion of certain property improvements for the above property, in the City of Coachella, the Development Services Department will authorize a 45-Day Temporary Certificate of Occupancy for the business. The City's issuance of this temporary certificate of occupancy is subject to the following conditions.

- 1) The owner shall indemnify, defend and hold harmless, the City of Coachella, California or any agency or instrumentality thereof, and/or any of its officers, employees, volunteers, attorneys and agents from any and all liability, demand, claim, action, or proceeding, brought by third parties against the City arising or alleged to arise, as a result of, or related to the issuance of the temporary certificate of occupancy.
- 2) The owner agrees to obtain a building permit from the City Building Division to change the building occupancy from a Restaurant use into an Adult Nightclub Business use.
- 3) The owner agrees to complete landscaping improvements as outlined below:
 - Replace at least six (6) 15-gallon trees in the rear parking lot finger island planters (one tree in each finger island adjacent to a parking stall) with Chilean Mesquite, Acacia aneura, Acacia stenophila or comparable tree species.
 - Replace a minimum of twelve (12) 15-gallon shade trees in the front parking lot planter areas with Chilean Mesquite, Acacia aneura, Acacia stenophila or comparable tree species.
 - Plant a minimum of three (3) new Mexican Fan Palms with a trunk height of 6 feet in the front planter areas in lieu of those removed near the porte-cochere.
 - Install a minimum of seventy five (75) new 5-gallon vertical shrubs and trailing shrubs along the perimeter slopes of the front planter areas along Dillon Road (these can include Leucophyllum frutescens, Hesperaloe parviflora, Caesalpinia purcherrima, Lantana montevidensis, Bougainvillea, or comparable plant species).
 - Replenish 1-inch of new Decomposed Granite "DG Fines" groundcover along the perimeter slopes of the front planter areas along Dillon Road.

If you concur with the above conditions of approval, please provide your signature below and maintain a copy of this agreement for your records. Please contact me at (760)398-3102 for any further questions.

Sincerely,

Luis Lopez
Luis Lopez
Development Services Director

Concur: *Bill Grivas*
Bill Grivas, Owner

Feb 1 2018
Date:

Filed For Affirmative Action/Equal Opportunity Employer
760 398-5421
CHRISTOPHER COPY TO



1515 SIXTH STREET • COACHELLA, CA 92236

Fax: (760) 398-8117

Administration	398-3502	Grants	398-3502
Animal Control	398-4978	Neighborhood Svs.	398-4978
Building	398-3002	Personnel	398-3502
City Clerk	398-3502	Planning	398-3102
City Council	398-3502	Public Works	398-5744
Code Enforcement	398-4978	Recreation	398-3502
Economic Develop.	398-3502	Riverside Sheriffs Office	863-8990
Engineering	398-5744	Sanitary	391-5008
Finance	398-3502	Senior Svs.	398-0104
Fire	398-8895	Utilities	398-2702

Item 1.

January 20, 2006

Robert H. Hannon
Robert Foster
46156 Dillon Road
Coachella, CA 92236

Re: Sexually Oriented Business Permit for 7th Heaven Gentlemen's Club.

The City of Coachella has reviewed your request for Sexually Oriented Business Permit for 7th Heaven Gentlemen's Club located at 46156 Dillon Road, Coachella, California 92236. The Building on the premises for the proposed operation has not been inspected by the Fire department (see attached report). Certificate of Occupancy has been not been issued from the Building Department.

Your request for Sexually Oriented Business Permit is not being considered at this time due that the building does not meet the minimum requirements for the proposed use, please resubmit the application requesting Sexually Oriented Business Permit for the subject site when the building is finalized by the responsible agencies and the Certificate of Occupancy has been issue by the Building Department.

Sincerely,

Jerry Santillan
City Manager

Cc: Department Heads

BUILDING DEPARTMENT APPROVAL (staff use only)

I have personally inspected the subject property of the business and have made the following determinations:

1. The building complies with the City's interior visibility requirements for sexually oriented businesses YES NO
(if no, explain improvements which must be made to bring the building into compliance _____)

2. The building complies with the City's lighting requirements for sexually oriented businesses YES NO
(if no, explain improvements which must be made to bring the building into compliance _____)

Approved By: Lizzandro Diaz / Snr. Building Inspector Date: 1-19-06
Name/Title

DETERMINATION OF APPLICATION (staff use only)

Action Taken: APPROVED DENIED

Conditions of Approval: MUST COMPLETE FIRE SUPPRESSION SYSTEM AND HAVE APPROVED BY RIVERSIDE COUNTY FIRE DEPARTMENT.

Grounds for Denial: MUST HAVE FIRE SUPPRESSION SYSTEM INSPECTED AND APPROVED PRIOR TO OCCUPYING BUILDING.

Approved By: [Signature] / Snr Building Inspector Date: 1-19-06
Name/Title

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**

Inspection Request Require 24 Hour Notice
(760) 388-3002



PERMIT NO.: **BL-2005-03-00013**
USE ZONE: **General Commercial**

Item 1.

OCCUPANCY: rest CONSTR TYPE: v-n SQ FT: 8,120.00

Project Address: 46156 DILLON RD Project Valuation: \$ 719,307.20
COACHELLA CA 92236 PARCEL #: 603102024
LOT #: 2

Applicant's Name: DALKE & SONS CONSTRUCTION, INC TRACT #: 0.00
Owner's Name: CLOUDY MOON INC
Owner's Address: 7319 RIO FLORA PL Phone:
DOWNEY CA 90241 Fax:

Contractor's Name: DALKE & SONS CONSTRUCTION, INC Phone: (951) 236-2995
Contractor's Address: 4585 ALLSTATE DR Fax: (951) 274-0319
RIVERSIDE CA 92501 Business Lic: ON FILE
State Licence: 612500

Contact Person: BOB JACOBSON Contact Phone: (951) 236-2995

Project Name:
Permit Type: MASTER BUILDING PERMIT
Description of Work: CONSTRUCT COMMERCIAL BUILDING "GENTLEMEN'S CLUB" 8,120 SQ.FT.
Condition:

FEE(S):

BUILDING PERMIT FEES	\$4,278.75	Plan Check Fees	\$2,781.19
1% Construction Tax	\$7,193.07	Strong Motion Instrumentation	\$151.06
WATER CONNECTION FEE	\$2,436.00	Water Front Footage Fee	\$4,810.10
Sewer Connection Fee	\$55,002.00	Sewer Front Footage Fee	\$4,810.10
ELECTRICAL PERMIT FEE	\$23.50	ELECTRICAL SERVICE AMP	\$124.30
ELECTRICAL FIXTURES	\$143.91	ELECTRIC OUTLETS & SWITCHES	\$71.64
General Plan Development Fee	\$406.00	Bus Shelter & Safety Zone Fee	\$406.00
Traffic Signal Fees	\$1,948.80	Bridge & Grade Separation Fee	\$3,426.64
MECHANICAL PERMIT FEE	\$23.50	MECHANICAL HEATING UNITS	\$109.20
MECHANICAL A/C & BOILERS	\$162.90	MECHANICAL EVAPORATIVE COOLER	\$10.65
MECHANICAL VENT FAN	\$53.25	MECHANICAL VENT HOOD	\$10.65
Fire Dept. Developers Fee	\$140.00	Certificate of Occupancy Fee	\$450.00
TUMF Fees	\$22,694.74	PLUMBING RAIN WATER SYSTEMS	\$78.40
PLUMBING GAS PIPING	\$6.15	PLUMBING INDUST WATER INTERC	\$19.90
PLUMBING PERMIT FEE	\$23.50	PLUMBING FIXTURES	\$450.80
PLUMBING SEWER CONNECTIONS	\$24.65	PLUMBING WATER SYSTEMS	\$4.75
PLUMBING WATER HEATERS	\$24.60		

Total Fees: \$112,300.70

CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

Bob Jacobson
(Applicant Signature)

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days.

M. Dwyer
Building
X *PA*

**CITY OF COACHELLA
INSPECTION LIST
COMMUNITY & DEVELOPMENT SERVICES**

Inspection Request Require 24 Hour Notice
(760) 398-3002



PERMIT NO.: **BL-2006-03-00013**
USE ZONE: **General Commercial**
OCCUPANCY: **CONSTR** TYPE: **rest** SQ FT: **8120**

Item 1.

Project Address: 46156 DILLON RD
COACHELLA CA 92236

Project Valuation: \$ 719,307.20

PARCEL #: 603102024
LOT #: 2

Applicant's Name: DALKE & SONS CONSTRUCTION, INC
Owner's Name: CLOUDY MOON INC
Owner's Address: 7319 RIO FLORA PL
DOWNEY CA 90241

TRACT #: 0.00

Phone:
Fax:

Contractor's Name: DALKE & SONS CONSTRUCTION, INC
Contractor's Address: 4585 ALLSTATE DR
RIVERSIDE CA 92501

Phone: (951) 236-2995
Fax: (951) 274-0319

Business Lic: ON FILE
State Licence: 612500

Contact Person: BOB JACOBSON

Contact Phone: (951) 236-2995

Project Name: MASTER BUILDING PERMIT
Permit Type: CONSTRUCT COMMERCIAL BUILDING "GENTLEMEN'S CLUB" 8,120 SQ.FT.
Description of Work: CONSTRUCT COMMERCIAL BUILDING "GENTLEMEN'S CLUB" 8,120 SQ.FT.
Condition:

BUILDING	Date	INSPECTOR	MECHANICAL	Date	INSPECTOR	ELECTRICAL	Date	INSPECTOR
Toilet Facility			FAU, AC, W/H			Temp. Power	1/19/05	[Signature]
Construction Trailer			Comb, Air & Venting			Under Slab Work	1/22/05	[Signature]
BUILDING			Circ. Air ducts, Etc.			Rough Conduit		
Fdn: Locatn, Forms	5/24/05	[Signature]	Location Clearance	8/2/05	[Signature]	Rough Wiring	8/2/05	[Signature]
Set Back, Grade			Access			Grounding		
Reinforcement			Duct Insulation			Service		
Uler Ground			Fireplace Installation			Electric Release	10-20-05	[Signature]
Slab: Grade, Rein.								
Bond Beam & Grout								
POUR NO CONCRETE UNTIL SIGNED ABOVE			U. L. PLUMB	5/21/05	[Signature]	FINAL APPROVALS		
Roof Deck/Trusses	7-14-05	[Signature]	PLUMBING			Plumbing Fixtures		
Pre-Wrap	8/20/05	[Signature]	Under Slab Work	6-2-05	[Signature]	Mechanical		
Frame: Fire stops			Rough Plumbing	8/2/05	[Signature]	Gas Piping		
Shear Bracing, Bolts	8/2/05	[Signature]	Rough Gas Piping			Electrical, Smoke Det.		
Hold Downs			Wet Test	10-20-05	[Signature]	Disabled Access		
Insulation	8-11-05	[Signature]	Bldg. Sewer	10/24/05	[Signature]	ENERGY		
Lath: Int			Septic Sys. Drain Field			Insulation Cert. (Res.)		
Dry Wall	8-17-05	[Signature]	Gas Line Test	12/2/05	[Signature]	Installation Cert. (Res.)		
Lath: Ext.			Grease Trap	12/2/05	[Signature]	Glazing		
			Gas Release	12/2/05	[Signature]			

OCCUP. APPROVALS					
Planning Division	Engineering Division	Fire Prevention	Water Division	Sanitation Division	Building Division
Date:	Date: 1-26-06	Date: 1-25-06	Date: 1-26-06	Date: 1-23-06	Date: 1-26-06
By:	By: [Signature]	By: [Signature]	By: [Signature]	By: [Signature]	By: [Signature]

LATH NORTH SIDE OK 12-15-05 [Signature]

NOTICE TO ALL CONTRACTORS
Final Inspections and Certificate of Completion or Occupancy must be obtained before occupying or using a building.
TACK THIS CARD IN CONSPICUOUS PLACE ON BUILDING

1ST BOND BEAM Remaining wall OK TO PROST 6-2-05 QUS

OK TO BACKFILL GREASE TRAP TO TOP OF VAULT 9/2/05 JLL

OK TO DRYWALL ONE SIDE QUS
 OK TO DRYWALL AD 9/15/05

DRYWALL WALL MAIN ROOM OK 9-15-05 QUS

LATH OK SWITCH BEAM WALL 9-15-05 QUS

SHUTT FOR KITCHEN HOOD 14-2HR FIRE RATED OK 9-30-05 QUS

BAR OK 10-20-05 QUS

Engineering:

- ① street Lights Laminaires to be installed
straight
- ② street Lights to be energized
- ③ Provide base cover for st. Lights

TEMPORARY

CERTIFICATE OF OCCUPANCY



Division of Building Inspection


This certificate issued pursuant to the requirements of Section 307 of the Uniform Building Code certifying taht at the time of issuance this structure was n compliance with the various ordinances of the city regulating building construction or use. For the following:

Use Classification: SEVENTH HEAVEN CLUB Bldg. Permit No.: BL-2005-03-00013

Occupancy Type: RESTAURANTS Construction Type: TYPE V-N Use Zone: GENERAL COMMERCIA

Owner of Building: CLOUDY MOON INC Address: 7319 RIO FLORA PL DOWNEY, CA 90241

Building Address: 46156 DILLON RD COACHELLA, CA 92236



Building Official

By: ELOON K. LEE

Date: 1/27/2006

POST IN A CONSPICUOUS PLACE

CERTIFICATE OF OCCUPANCY



Division of Building Inspection

This certificate issued pursuant to the requirements of Section 307 of the Uniform Building Code certifying that at the time of issuance this structure was in compliance with the various ordinances of the city regulating building construction or use. For the following:

Use Classification: SEVENTH HEAVEN CLUB Bldg. Permit No.: BL-2005-03-00013

Occupancy Type: RESTAURANTS Construction Type: TYPE V-N Use Zone: GENERAL COMMERCIA

Owner of Building: CLOUDY MOON INC Address: 7319 RIO FLORA PL DOWNEY, CA 90241

Building Address: 46156 DILLON RD COACHELLA, CA 92236



Building Official

By: LIZZANDRO DIAZ, C.B.O.

Date: 6/22/2007

POST IN A CONSPICUOUS PLACE

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



DATE: 10/05/2005
 PERMIT NO: BL-2005-10-01310
 USE ZONE:
 OCCUPANCY: CONSTR TYPE: SQ FT:

Item 1.

Inspection Request Require 24 Hour Notice
 (760) 398-3002

Project Address:	46156 DILLON RD COACHELLA CA 92236	Project Valuation: \$ 14,200.00 PARCEL #: 603102024 LOT #: 2 TRACT #: 0.00
Applicant's Name:	CHAD ADDINGTON	Phone:
Owner's Name:	CLOUDY MOON INC	Fax:
Owner's Address:	7319 RIO FLORA PL DOWNEY CA 90241	Phone: (760) 776-9907
Contractor's Name:	SIGN*A*RAMA	Fax:
Contractor's Address:	41905 BOARDWALK STE U PALM DESERT CA 92261	Business Lic:
Contact Person:	CHAD ADDINGTON	State Licence: 830131 Contact Phone: (760) 776-9907
Project Name:	SIGN PERMIT	
Permit Type:	SIGN PERMIT	
Description of Work:	"SEVENTH HEAVEN" (GENTLEMENS CLUB) SIGN 118SQ. INTERNALLY ILLUMINATED CHANNEL LETTERS, ACRYLIC FACED LIGHT CABINET & EXPOSED NEON ACCENT TRIM	
Condition:		

FEE(S):

SIGN - VALUATION FEE	\$251.25	ELECTRICAL PERMIT FEE	\$23.50	SIGN OUTLETS & SWITCHES	\$2.20
----------------------	----------	-----------------------	---------	-------------------------	--------

TOTAL FEES: \$ 276.95

CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is

[Signature]
 (Applicant Signature)

[Signature]
 Building
 Planning

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



DATE: 12/14/2005
 PERMIT NO: PL-2005-12-00021
 USE ZONE:
 OCCUPANCY: CONSTR TYPE: SQ FT:

Item 1.

Inspection Request Require 24 Hour Notice
 (760) 398-3002

Project Address:	46156 DILLON RD COACHELLA CA 92236	Project Valuation: \$ 55,000.00 PARCEL #: 603102024 LOT #: 2 TRACT #: 0.00
Applicant's Name:	KEVIN SINGLETON	Phone:
Owner's Name:	CLOUDY MOON INC	Fax:
Owner's Address:	7319 RIO FLORA PL DOWNEY CA 90241	Phone: (909) 483-2494
Contractor's Name:	CASA VERDE LANDSCAPE	Fax: (909) 483-2694
Contractor's Address:	7090 ARCHIBALD AVE SUITE A ALTA LOMA CA 91701	Business Lic: 675508
Contact Person:	KEVIN SINGLETON	State Licence:
Project Name:		Contact Phone: (909) 483-2494
Permit Type:	PLUMBING PERMIT	
Description of Work:	LANDSCAPE IRRIGATION	
Condition:		

FEE(S):				
Plan Check Fees	\$441.19	PLUMBING PERMIT FEE	\$23.50	PLUMBING BACKFLOW DEVIC
				\$12.30

TOTAL FEES: \$ 476.99

CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is

(Applicant Signature)

[Signature]
 Building
[Signature]
 Planning.



JOHN SNYDER
Agricultural Commissioner
Sealer of Weights & Measures

OFFICE OF THE
AGRICULTURAL COMMISSIONER

P.O. BOX 1089
RIVERSIDE CA 92502-1089
PHONE (951) 955-3000
FAX (951) 955-3012

WEIGHTS & MEASURES OFFICE
P.O. BOX 1480
RIVERSIDE CA 92502-1480
PHONE (951) 955-3030
FAX (951) 276-4728

Item 1.

82-675 Highway 111, Rm. 14
Indio, CA 92201
(760) 863-8291

DATE 11-22-2005 CASE NO. PCRS 112205B

DEVELOPER'S NAME: Robert M. Foster

ADDRESS: 7319 Rio Flora Place

Downey, Ca 90241

TELEPHONE: 562-904-9377

Location - Seventh Heaven Gentlemens Club
Dillon Road + Vista Del Sur
Coachella, California

Dear Developer:

After reviewing your landscaping plants, all plant material listed is not in violation of quarantine laws governing the Coachella Valley. If substitutions do occur and they differ from plant material listed, this office must be notified immediately.

Thank you for protecting and preserving the Coachella Valley's pest-free environment.

Richard W. Shaffer
Agricultural Commissioner's Office

cc: Indio and Riverside

Inspection Request

Item 1.

Inspector: TR Day: Wed Date: 1-25-06 Time: 2:30-3:00

Project Name: Seventh Heaven Case #: COA-04-BP-015

Project Address: SUITE

Project City: 46-156 Dillon Rd. Cross Street: _____

Company Name: CO Achella Rep. Name: Monte

Phone #: Com from Cell #: 776-8811 Pager #: _____

Start Time: 1400 Finish Time: 1500

Start Time: _____ Finish Time: _____

Start Time: _____ Finish Time: _____

<u>Sprinkler System</u>	<u>Pass</u>	<u>Fail</u>	<u>Fire Alarm Systems</u>	<u>Pass</u>	<u>Fail</u>
<input type="checkbox"/> Underground Thrust Block:			<input type="checkbox"/> Fire alarm wiring inspection:		
<input type="checkbox"/> Underground Rough:			<input type="checkbox"/> Fire alarm function test:		
<input type="checkbox"/> Underground Hydro:			<input type="checkbox"/> Fire alarm battery test:		
<input type="checkbox"/> Underground Flush:			<input checked="" type="checkbox"/> Fire alarm final:		
<input type="checkbox"/> Overhead Rough:			<input type="checkbox"/> Sprinkler monitoring:		X
<input type="checkbox"/> Overhead Hydro:			<u>Fuel Storage Tanks</u>		
<input checked="" type="checkbox"/> Overhead Final:	X		<input type="checkbox"/> Underground tank(s):		
<input type="checkbox"/> High pile storage:			<input type="checkbox"/> Aboveground tank(s):		
<input type="checkbox"/> In-rack sprinklers			<input type="checkbox"/> Fuel dispensers only:		
<input type="checkbox"/> Hose racks:			<u>Building Inspections</u>		
<u>Hydrant System</u>			<input type="checkbox"/> T/I final:		
<input type="checkbox"/> Underground Thrust Block:			<input type="checkbox"/> Shell final:		
<input type="checkbox"/> Underground Rough:			<input checked="" type="checkbox"/> Final for occupancy:		X
<input type="checkbox"/> Underground Hydro:			<u>Misc. Inspections</u>		
<input type="checkbox"/> Underground Flush:			<input type="checkbox"/> Spray booths:		
<u>Knox System</u>			<input checked="" type="checkbox"/> Hood/duct extinguishing:		X
<input type="checkbox"/> Building Knox Box			<input type="checkbox"/> High pile/rack storage:		
<input type="checkbox"/> Gate Access Knox Box			<input type="checkbox"/> Other:		

Comments: _____

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



DATE: **11/20/2006**
 PERMIT NO: **BL-2006-11-04714**
 USE ZONE:
 OCCUPANCY: CONSTR TYPE: SQ FT:

Item 1.

Inspection Request Require 24 Hour Notice
 (760) 398-3002

Project Address:	46156 DILLON RD COACHELLA CA 92236	Project Valuation: \$ 7,665.00 PARCEL #: 603102024 LOT #: 2 TRACT #: 0.00
Applicant's Name:	BEST SIGNS, INC.	Phone:
Owner's Name:	CLOUDY MOON INC	Fax:
Owner's Address:	7319 RIO FLORA PL DOWNEY CA 90241	Phone: (760) 200-4979
Contractor's Name:	BEST SIGNS	Fax:
Contractor's Address:	78078 COUNTRY CLUB DR PALM DESERT CA 92211	Business Lic:
Contact Person:		State Licence:
Project Name:		Contact Phone: (760) 200-4979
Permit Type:	SIGN PERMIT	
Description of Work:	FABRICATED AND INSTALL MONUMENT SIGN "GENTLEMEN'S CLUB" 15.3 SQ.FT.	
Condition:		

FEE(S):				
SIGN - VALUATION FEE	\$153.25	ELECTRICAL PERMIT FEE	\$23.50	SIGN OUTLETS & SWITCHES \$1.10

TOTAL FEES: \$ 177.85

CERTIFICATION APPEARING ON APPLICATIONS
 I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

Walter Douglas Herbst
 (Applicant Signature)

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.
 Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is

[Signature]
 Building
[Signature]
 Planning

BUILDING PERMIT NO. _____

CITY OF COACHELLA, CA

1515 SIXTH STREET

COACHELLA, CALIFORNIA 92336 TELEPHONE (619) 392-3002

Applicant Best Signs Inc.
 Mailing Address 1550 Gene Autry Trail
Palm Springs, Ca 92264
 Building Address Same
 Owner Robert Foster
 Mailing Address 46-156 Dillion Road
 City Coachella Zip 92232 Tel 562 760-6770

Contractor Best Signs Inc.
 Mailing Address 1550 Gene Autry Trail
 City Palm Springs Zip 92264 Tel 760-320-3042
 State Lic. & Classif. C45 City Coachella Lic. # 524483
 Arch. Eng. Designer Same as above
 Address " Tel "
 City " Zip " State " Lic. # "

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provision of chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class C45 Lic. # 524483

Date 11/13/06 Contractor [Signature]

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees.

sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale. Item 1.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).

I am exempt under Sec. _____, B.&P.C. for this reason _____

Worker's Compensation Declaration

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 11/13/06 Applicant [Signature]

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name _____ Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant [Signature] Date 11/13/06

OFFICE COPY

Item 1.

Client:
Seventh Heaven
GENTLEMAN'S CLUB

Project:
MONUMENT SIGN

Account Representative:
DOUG LENCKI
Designer:
ART RUIZ
Date:
AUG 08, 2006

Scale:
AS SHOWN
File name:
**S/Seventh Heaven/
Monument Sign**
Revisions:
AUG 19, 2006 JRC

Client Approval:

BESTSIGNS
1550 G. Gene Autry Trail
Palm Springs, CA 91264
(760) 320-3842
FAX 760-320-2090
78078 Country Club Dr. suite 106
Barruda Dunes, Ca 92201
(760) 345-9115
www.bestsignsinc.com



COLORS REPRESENTED IN THIS DRAWING ARE FOR PRESENTATION PURPOSES ONLY. THEY WILL NOT MATCH YOUR FINISHED PRODUCT PERFECTLY. COLOR CHOICES ARE FOR A MATCH AS CLOSE AS POSSIBLE.

ALL BESTSIGNS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REFERENCED BY THIS DRAWING ARE THE PROPERTY AND PROPERTY OF BESTSIGNS INC AND WERE CREATED, DEVELOPED AND PROVIDED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BESTSIGNS INC.

Drawing
1

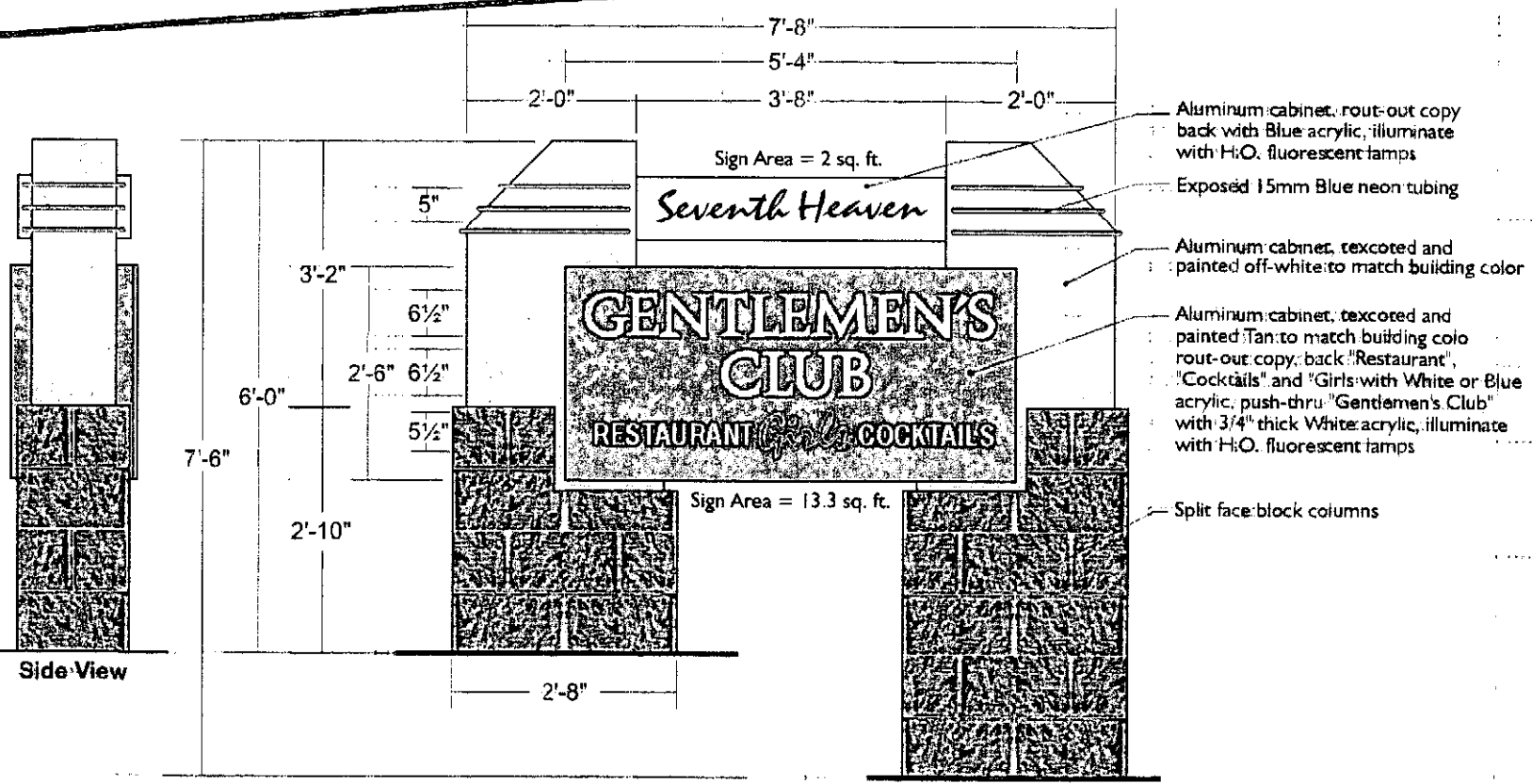
CITY APPROVAL

APPROVED		
DEPT.	INITIALS	DATE
BUILDING	<i>[Signature]</i>	<i>11/16/06</i>
PLANNING	<i>[Signature]</i>	<i>11/16/06</i>
ENGINEERING		

CITY OF COACHELLA
BUILDING DIVISION

APPROVED BY *[Signature]* *11/16/06*
DATE

Approval of these plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the state or local laws. One set of approved plans must be kept on the job until completion.



Manufacture & Install One (1) D/F Internally Illuminated Monument Sign Scale: 1/2" = 1'-0"

TOTAL SIGN SQUARE FOOTAGE = 13.3 + 2.0 = 15.3 Sq. Ft.

Client:

Seventh Heaven
GENTLEMAN'S CLUB

Project:

MONUMENT SIGN

Account Representative:

DOUG LENCKI

Designer:

ART RUIZ

Date:

AUG 08, 2006

Scale:

AS SHOWN

File name:

S/Seventh Heaven/
Monument Sign

Revision:

AUG 19, 2006 JRC

Client Approval:

BESTSIGNS
INCORPORATED

15511 S. Gene Autry Trail
Palm Springs, CA 92264
(760) 320-3842
FAX 760-320-2090

7807 B Country Club Dr. suite 106
Bermuda Dunes, Ca 92201
(760) 345-9115

www.bestsignsinc.com

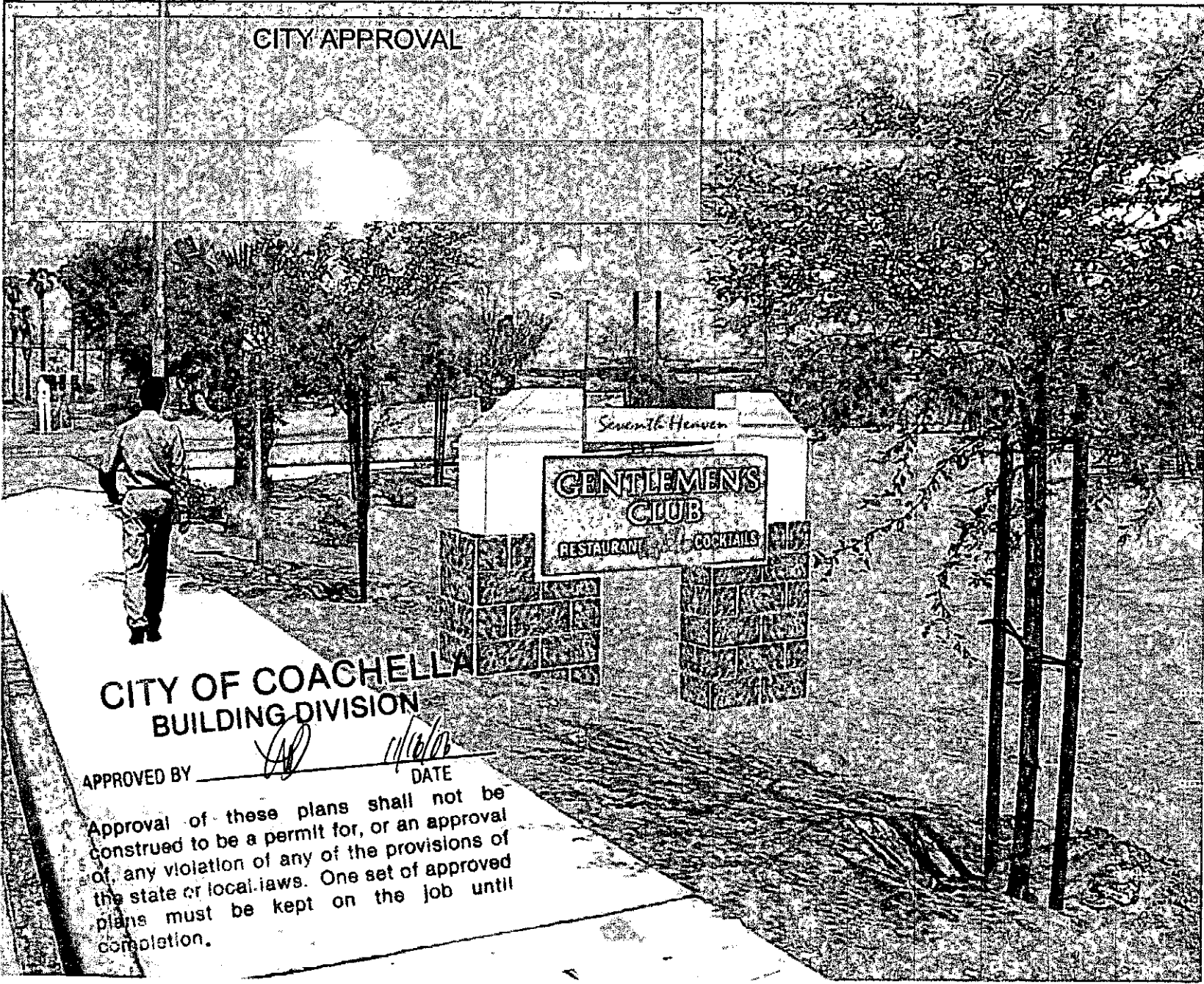


COLORS REPRESENTED IN THIS DRAWING ARE FOR PRESENTATION PURPOSES ONLY. THEY WILL NOT MATCH YOUR FINISHED PRODUCT PERFECTLY. COLOR CALIBRATIONS ARE FOR A MATCH AS CLOSE AS POSSIBLE.

ALL RIGHTS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REFERENCED IN THIS DRAWING ARE OWNED BY AND PROPERTY OF BEST SIGNS, INC. AND WILL BE PROTECTED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE IN SUCH DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON FOR OR IN CONNECTION WITH ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BEST SIGNS, INC.

Drawing

2



CITY APPROVAL

CITY OF COACHELLA
BUILDING DIVISION

APPROVED BY

DATE

Approval of these plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the state or local laws. One set of approved plans must be kept on the job until completion.

Sign Location ~ Not to Scale

CITY OF COACHELLA
BUILDING DIVISION

CITY APPROVAL

APPROVED BY *[Signature]*
DATE

Approval of these plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the state or local laws. One set of approved plans must be kept on the job until completion.

Client: Item 1.

Seventh Heaven
GENTLEMAN'S CLUB

Project:
MONUMENT SIGN

Account Representative:
DOUG LENCKI

Designer:
ART RUIZ

Date:
AUG 08, 2006

Scale:
AS SHOWN

File name:
S/Seventh Heaven/
Monument Sign

Revisions:
AUG 19, 2006 JRC

Client Approval:



1550 S. Gene Autry Trail
Palm Springs, CA 92264
(760) 320-3042
FAX 760-320-2090

7807 8 Country Club Dr. suite 106
Bermuda Dunes, Ca 92201
(760) 345-9115

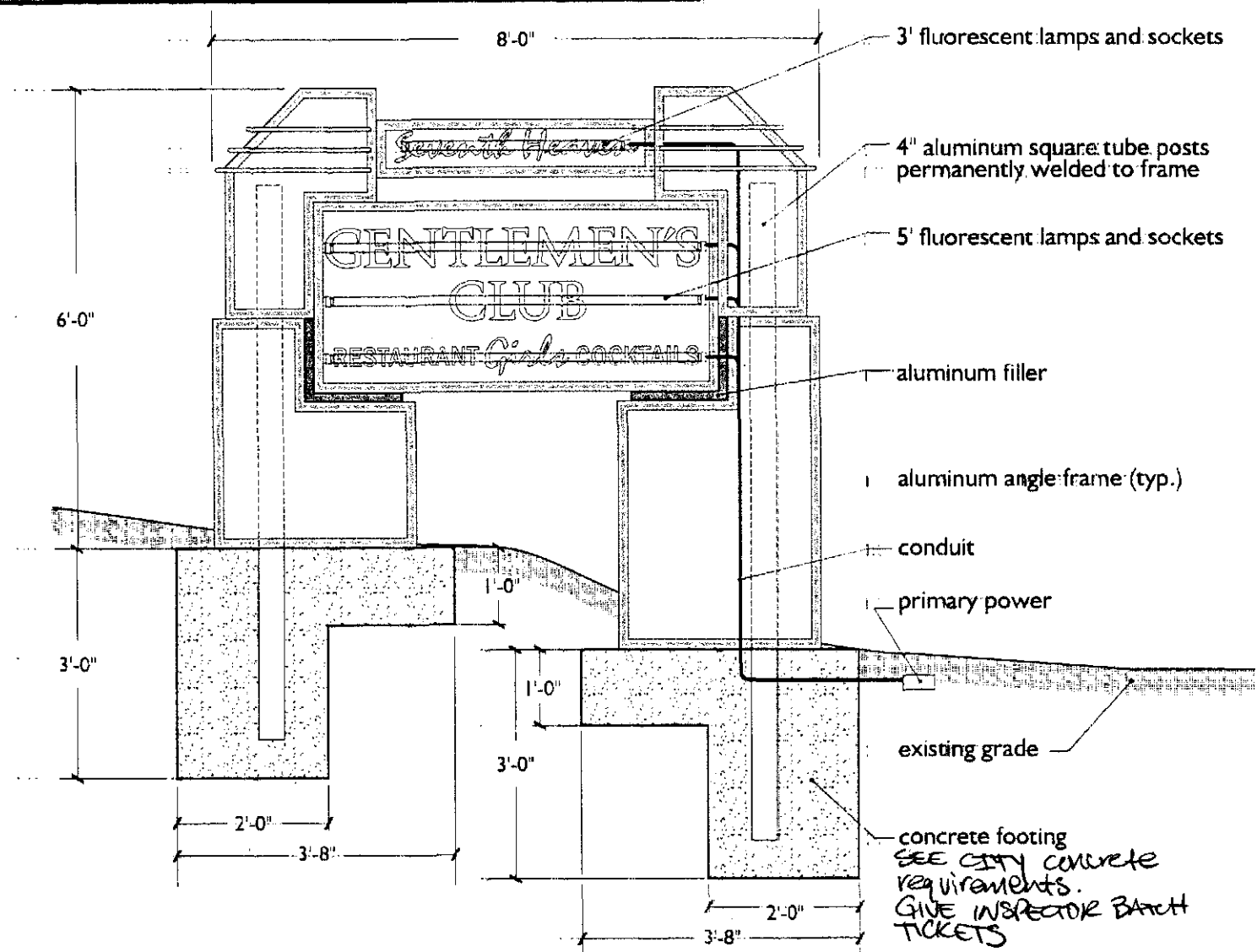
www.bestsignsinc.com



ALL COLORS REPRESENTED IN THIS DRAWING ARE FOR REPRESENTATION PURPOSES ONLY. TO GET THE BEST MATCH FROM FINISHED PRODUCT, PLEASE REFER TO COLOR CALIBRATIONS AND FOLLOW WATER AS CLOSE AS POSSIBLE.

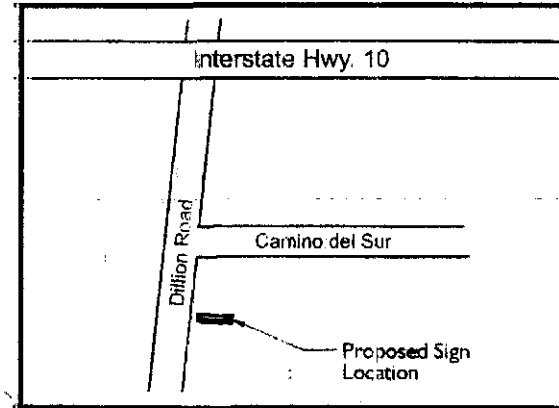
ALL BESTSIGNS DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF BESTSIGNS, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE BY AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DEVELOPED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BESTSIGNS, INC.

Drawing
3

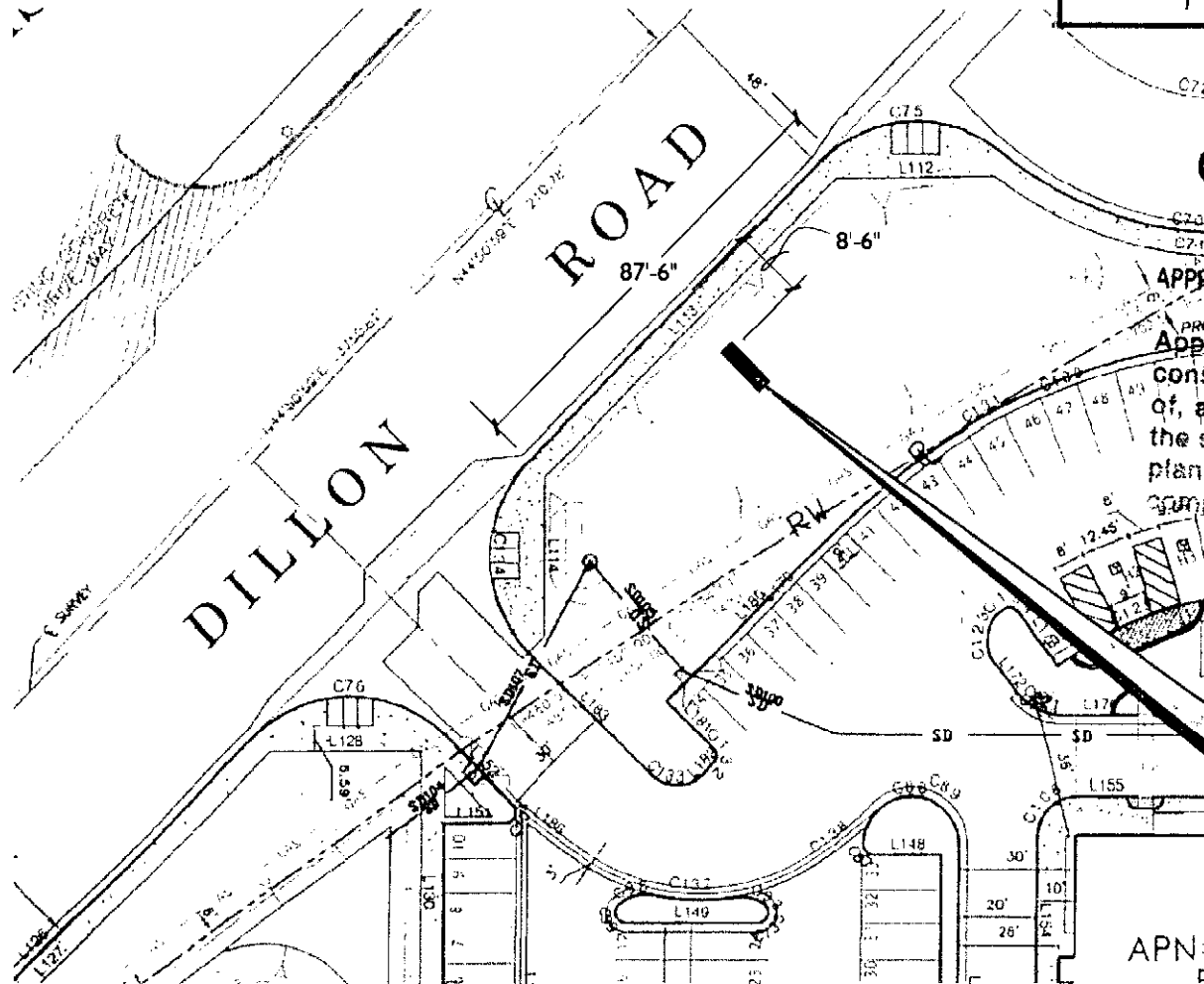


Sign Construction Detail ~ Scale: 1/2" = 1'-0"

CITY APPROVAL



LOCATION MAP
NOT TO SCALE

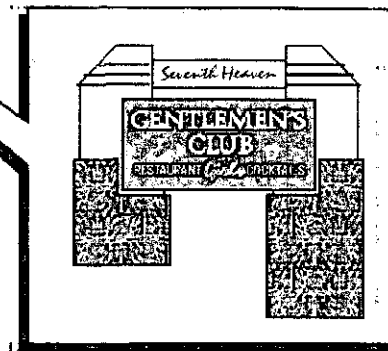


SITE PLAN ~ NOT TO SCALE

CITY OF COACHELLA
BUILDING DIVISION

APPROVED BY *[Signature]* DATE *[Signature]*

Approval of these plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the state or local laws. One set of approved plans must be kept on the job until completion.



PROPOSED SIGN LOCATION

Client: Item 1.

Seventh Heaven
GENTLEMAN'S CLUB

Project:
MONUMENT SIGN

Account Representative:
DOUG LENCKI

Designer:
ART RUIZ

Date:
SEPT 13, 2006

Scale:
AS SHOWN

File name:
**S/Seventh Heaven/
Monument Sign**

Revisions:

Client Approval:

BESTSIGNS INCORPORATED
 1550 G. Gene Autry Trail
 Orange, CA 92664
 Phone: 714-368-3042
 FAX: 714-320-2090
 78075 Country Club Dr, suite 106
 Dunes, Ca 92201
 (760) 345-9115
www.bestsignsinc.com



COLT'S REPRESENTED IN THIS DRAWING ARE FOR PRESENTATION PURPOSES ONLY. THEY WILL NOT MATCH YOUR FINISHED PRODUCT. PERFECT COLOR CALIBRATIONS ARE FOR A MATCH AS CLOSE AS POSSIBLE.

ALL SIGN DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED AND PROTECTED BY BEST SIGNS, INC. AND WERE CREATED, EMPLOYED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE HEREIN PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BEST SIGNS, INC.

Drawing

4

Describe Application Approvals Requested:

APPLICANT:

The applicant must be the owner of the land, the lessee having a leasehold interest of five (5) or more years, or the agent of the foregoing duly authorized in writing, a copy of which is attached.

Applicant Name, Address, Telephone & FAX, E-mail address & website:

Signature *Robert Foster* Date 9-6-06

Printed Name Robert Foster

Title, Company and/or Corporation Name, if any Mrs Claudy Mann

Capacity to sign application Property Owner
(Property owner or record, lessee, agent, development, corporate principal, representative)

PROPERTY OWNERS OF RECORD:

Signature of all owners of record is required or letter(s) from all owners of record authorizing filing of specific applications by a specific individual on a specific property. Attach additional sheets if necessary.

All signers represent that they have full legal capacity to, and hereby do, authorize the filing of this application. Leaseholds must be for at least five (5) years or the owner shall be required to sign this application.

Property Owner Name, Address, Telephone & FAX, E-mail address & website:

Signature *R Foster* Date 9-6-06

Printed Name Robert Foster

Title, Company and/or Corporation Name, if any Mrs Claudy Mann

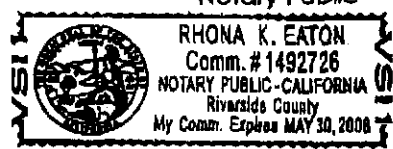
NOTARY PUBLIC:

Subscribed and sworn before me this 6th day of September 2006

May 30, 2008
My Commission Expires

ss: *Rhona K. Eaton*
Notary Public

2



**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**

Inspection Request Require 24 Hour Notice
(760) 398-3002



DATE: **04/26/2010**
PERMIT NO: **BL-2010-04-07984**

Item 1.

USE ZONE:
OCCUPANCY: CONSTR TYPE: SQ FT:

Project Address: 46156 DILLON RD
COACHELLA CA 92236

Project Valuation: \$ 1.00
PARCEL #: 603102024
LOT #: 2

Applicant's Name: HENRY PIECURA
Owner's Name: HENRY PIECURA
Owner's Address: 46156 DILLON RD
COACHELLA CA 92236

TRACT #: 0.00
Phone: (760) 398-6666
Fax:

Contractor's Name:
Contractor's Address:

Phone:
Fax:

Contact Person:

Business Lic:
State Licence:
Contact Phone:

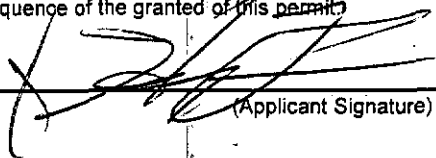
Project Name:
Permit Type: SIGN PERMIT
Description of Work: TEMPORARY BANNER SIGN 3' X 10' (30 SQ.) (TO BE REMOVED BY MAY 16, 2010)
Condition:

FEE(S):
SIGN FEE \$20.00

TOTAL FEES: \$ 20.00

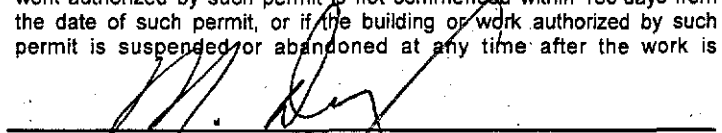
CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.


(Applicant Signature)

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is


Building
Planning

BUILDING PERMIT NO. _____

CITY OF COACHELLA, CA
1515 SIXTH STREET
COACHELLA, CA. 92236 (760) 398-3002

Building Address: 46156 Dillon Rd

Applicant: Ernie Prince King

Mailing Address: 46156 Dillon Rd

City: Coachella Zip: 92236 Tel: (760) 398-4466

Owner: _____

Mailing Address: 46156 Dillon Rd

City: Coachella Zip: 92236 Tel: _____

Contractor: _____

Mailing Address: _____

City: _____ Zip: _____ Tel: _____

State Lic. & Class: _____ City License #: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provision of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class: _____ License #: _____

Date: _____ Contractor: _____

OWNER-BUILDER DECLARATION

I, hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Sec. 703.1.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and professions Code) or that he or she is exempt there from and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own

employees provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractor's to construct the project (Sec. 7044, business and Professions Code: the Contractor's License Law does not apply to owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

I am exempt under Sec. _____ B & P C for this reason _____

Date: 4-26-10 Owner: [Signature]

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier: _____ Policy # _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provide for in Section 3706 of the Labor Code, Interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

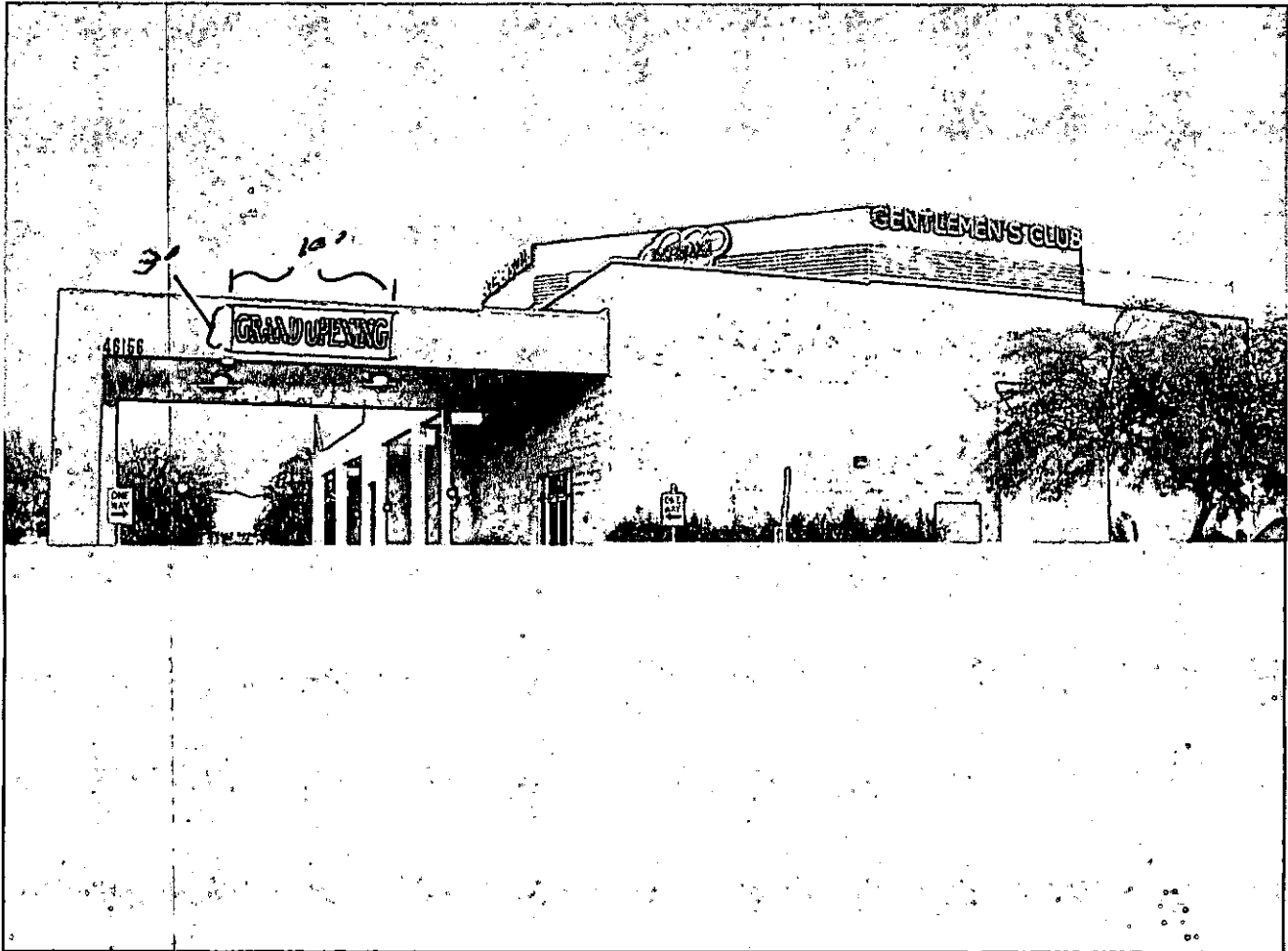
I, hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civ. C).

Lender's Name _____

Address: _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Date: 4-26-10 Applicant Signature: [Signature]



APPROVED		
DEPT.	INITIALS	DATE
BUILDING	_____	_____
PLANNING	<u>J.P.</u> *	<u>4/26/10</u>
ENGINEERING	_____	_____

*TO BE REMOVED BY MAY 16, 2010.

**CITY OF COACHELLA
INSPECTION LIST
COMMUNITY & DEVELOPMENT SERVICES**

Inspection Request Require 24 Hour Notice
(760) 398-3002



ISSUE DATE:
PERMIT NO: **BL-2014-12-10531**
USE ZONE: General Commercial
OCCUPANCY: CONSTR TYPE SQ FT

Item 1.

Project Address: 46156 DILLON RD
COACHELLA CA 92236

Applicant's Name: CULICHITOWN CORP
Owner's Name: RAMON MISAEL GUERRERO
Owner's Address: 46156 DILLON RD
COACHELLA CA 92236

Contractor's Name:
Contractor's Address:

Contact Person:

Project Name: MISCELLANEOUS BUILDING PERMIT
Permit Type:
Description of Work: GENERAL REMODEL OF INTERIOR DINING AND STAGE, NEW BOOTHS, RAILING, AND LIGHTING
Condition:

Project Valuation: \$ 0.00
PARCEL #: 603102024
LOT #: 2
TRACT #: 0.00

Phone: (760) 760-5379 544
Fax:
Phone:
Fax:
Business Lic:
State Licence:
Contact Phone:

Handwritten: Final Inspection 12/26/14

BUILDING	Date	INSPECTOR	MECHANICAL	Date	INSPECTOR	ELECTRICAL	Date	INSPECTOR
Toilet Facility			FAU, AC, W/H			Temp Power		
Construction Trailer			Comb Air & Venting			Under Slab Work		
BUILDING			Circ Air ducts, Etc			Rough Conduit		
Fdn: Locatn: Forms Set Back, Grade			Location Clearance Access			Rough Wiring Grounding		
Reinforcement			Duct Insulation			Service		
Ufer Ground			Fireplace Installation			Electric Release		
Slab: Grade, Rein								
Bond Beam & Grout						FINAL APPROVALS		
POUR NO CONCRETE UNTIL SIGNED ABOVE			PLUMBING			Plumbing Fixtures		
Roof Deck/Trusses			Under Slab Work			Mechanical		
Pre-Wrap			Rough Plumbing			Gas Piping		
Frame: Fire stops Shear Bracing: Bolts			Rough Gas Piping			Electrical Smoke Det		
Hold Downs			Wet Test			Disabled Access		
Insulation			Bldg Sewer			ENERGY		
Lath: Int			Septic Sys, Drain Field			Insulation Cert. (Res.)		
Dry Wall			Gas Line Test			Installation Cert. (Res.)		
Lath: Ext			Grease Trap			Glazing		
			Gas Release					

OCCUP. APPROVALS					
Planning Division	Engineering Division	Fire Prevention	Water Division	Sanitation Division	Building Division
Date:	Date:	Date:	Date:	Date:	Date:
By:	By:	By:	By:	By:	By:

NOTICE TO ALL CONTRACTORS
Final Inspections and Certificate of Completion or Occupancy must be obtained before occupying or using a building.
TACK THIS CARD IN CONSPICUOUS PLACE ON BUILDING
CALL FOR INSPECTION (24 HOURS IN ADVANCE) Phone: 398-3002

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



DATE: **08/22/2017**
 PERMIT NO: **BL-2017-08-12482**
 USE ZONE:
 OCCUPANCY: CONSTR TYPE: **SQ.FT:**

Item 1.

Inspection Request Require 24 Hour Notice
 (760) 398-3002

Project Address:	46156 DILLON RD COACHELLA CA 92236	Project Valuation: \$ 8,500.00
Applicant's Name:	LASZLO GYORGYEI	PARCEL #: 603102024
Owner's Name:	KEVORK APOSHIAN	LOT #: 2
Owner's Address:	46156 DILLON RD COACHELLA CA 92236	TRACT #: 0.00
Contractor's Name:	LASZLO GYORGYEI	Phone: (818) 613-0100
Contractor's Address:		Fax:
Contact Person:	ABRAHAM BARBARIAN	Phone: (818) 613-0100
Project Name:		Fax:
Permit Type:	SIGN PERMIT	Business Lic:
Description of Work:	RE-FACE EXISTING FREESTANDING SIGN FAES AND RE-FACE ALL WALL SIGNS WITH NEW COPY AND LETTERING. NEW 70 SQ.FT. WALL SIGN ON REAR BUILDING. (8 SIGNS TOTAL).	State Licence:
Condition:		Contact Phone: (818) 613-0100

FEE(S):				
SIGN FEE	\$224.00	Plan Check Fees	\$209.00	Senate Bill 1473
				\$1.00

TOTAL FEES: \$ 434.00

CERTIFICATION APPEARING ON APPLICATIONS
 I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

[Signature]
 (Applicant Signature)

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.
 Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is

[Signature]
 Building

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



DATE:
PERMIT NO:
USE ZONE:
OCCUPANCY: CONSTR TYPE: SQ FT:

Inspection Request Require 24 Hour Notice
(760) 398-3002

\$121

Project Address: 46156 Dillon RD-

Project Valuation: \$ 0.00 \$5500

Applicant's Name: Chicas Gentleman CLUB
Owner's Name: KEVORK APOSHIAN
Owner's Address: 46156 Dillon RD

PARCEL #:
LOT #:
TRACT #:

Phone: 818 613-0100
Fax: -

Contractor's Name: Laszlo GYORGYEI
Contractor's Address: 22227 Chatsworth
Chatsworth CA 91311

Phone: 818-613-0100
Fax:

Contact Person: ABRAHAM BARBARIAN

Business Lic:
State Licence: 45-875002
Contact Phone: 818-613-0100

Project Name: Chicas Gentleman CLUB
Permit Type: ELECTRICAL sign permit

Description of Work: Re-face existing freestanding sign faces, and re-face all wall signs w/new copy & lettering. New 70 sf wall sign on rear.

CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granting of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is

[Handwritten Signature]
(Applicant Signature)

[Handwritten Signature] Building
Planning 8/17/17

BUILDING PERMIT NO. _____

CITY OF COACHELLA, CA
1515 SIXTH STREET
COACHELLA, CA. 92236 (760) 398-3002

Building Address: 46156 Dillon Rd.

Applicant: Chicas Gentleman c/d

Mailing Address: 46156 Dillon Rd

City: Coachella Zip: 92236 Tel: 818-523-1730

Owner: KEVORK A Poshian

Mailing Address: 46156 Dillon Rd

City: Coachella Zip: 92236 Tel: 818-5231730

Contractor: LASZLO GYORGYEI

Mailing Address: 22227 Chatsworth

City: Chatsworth Zip: 91311 Tel: 818-613-0100

Permit Lic. & Class: C45 City License #: 7 well
875002 get one
LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Permit Class: C45 License #: 875002

Permit No: 4-3118 Contractor: LASZLO GYORGYEI

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure, or to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) that he or she is exempt there from and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own

employees provided that such improvements are not sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

- I, as owner of the property, am exclusively contracting with licensed contractor's to construct the project (Sec. 7044, Business and Professions Code: the Contractor's License Law does not apply to owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

I am exempt under Sec. 7044 B & P C for this reason

Date: 5-24-17 Owner: [Signature]

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier: _____ Policy # _____ (This section need not be completed if the permit is for one hundred dollars (\$100) or less).
- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 5-24-17 Applicant: _____

WARNING: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provide for in Section 3706 of the Labor Code, Interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

I, hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civ. C).

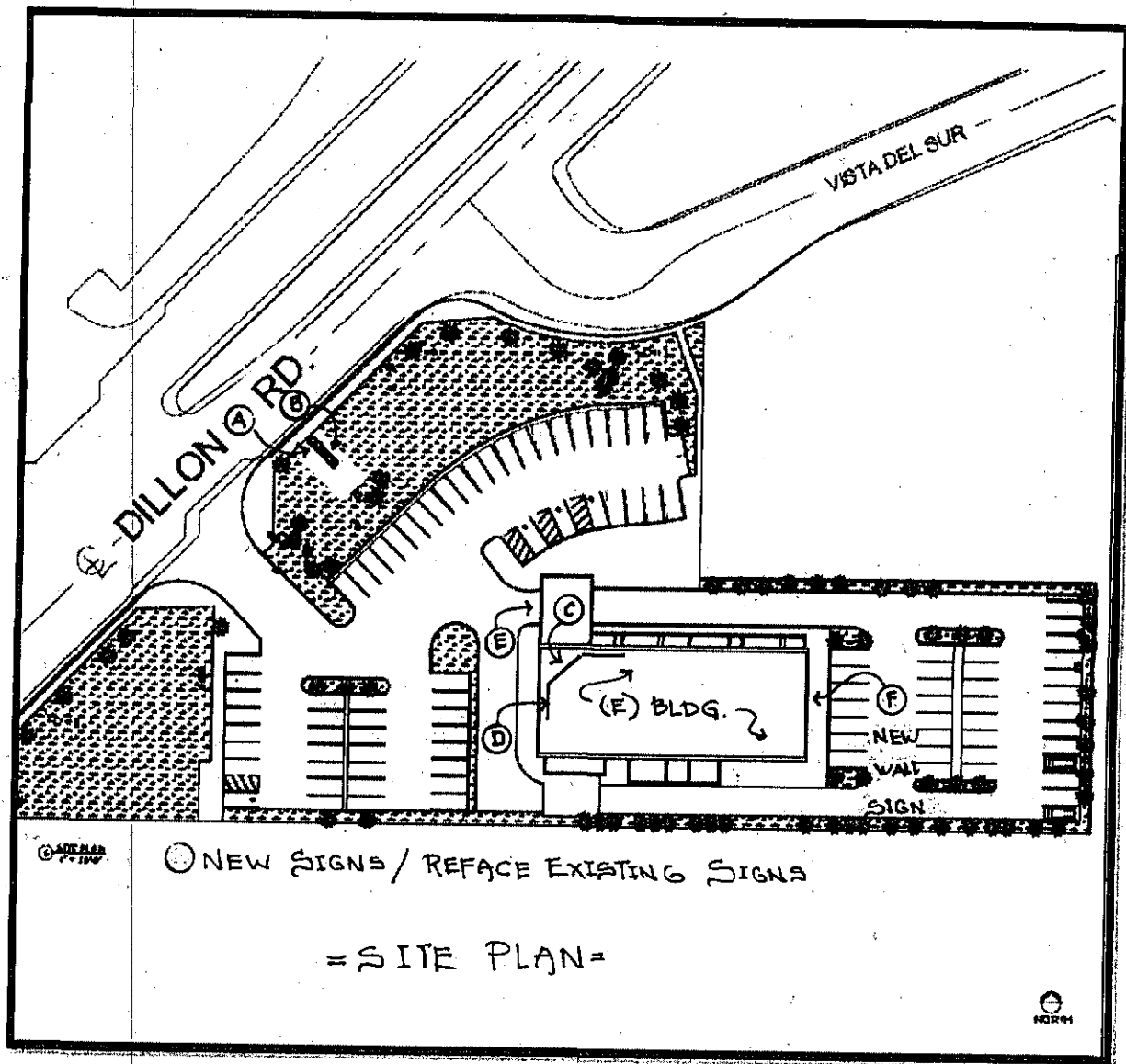
Lender's Name _____

Address: _____

- I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Date: 5-24-17 Applicant Signature: [Signature]

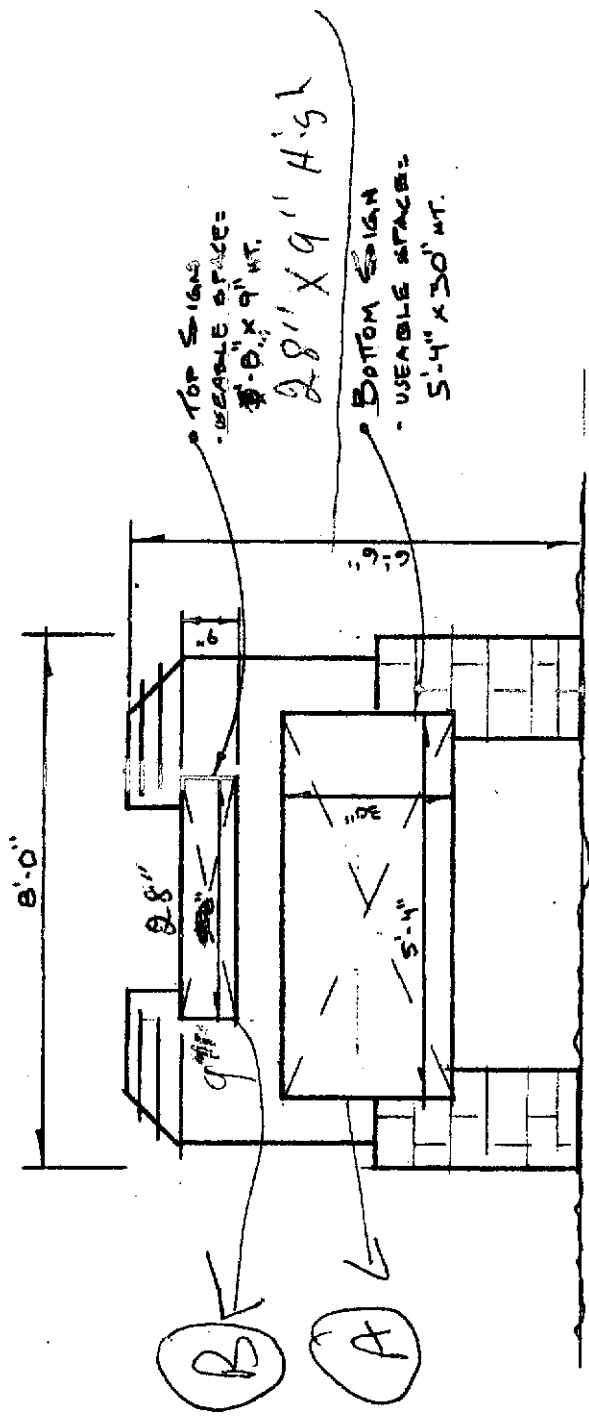
Item 1.



= CITY SET =

Chicas Gentlemens Club
 c/o George Aposhian
 46-156 Dillon Road
 Coachella CA 92236

APPROVED		
DEPT.	INITIALS	DATE
BUILDING	<u>John Foster</u>	<u>8/21/17</u>
PLANNING	<u>J. B. Lopez</u>	<u>8/17/17</u>
ENGINEERING	_____	_____



MONUMENT SIGN
2 SIDES

ALL AROUND NEON ~ TERRAN M. ~ 760-399-5173

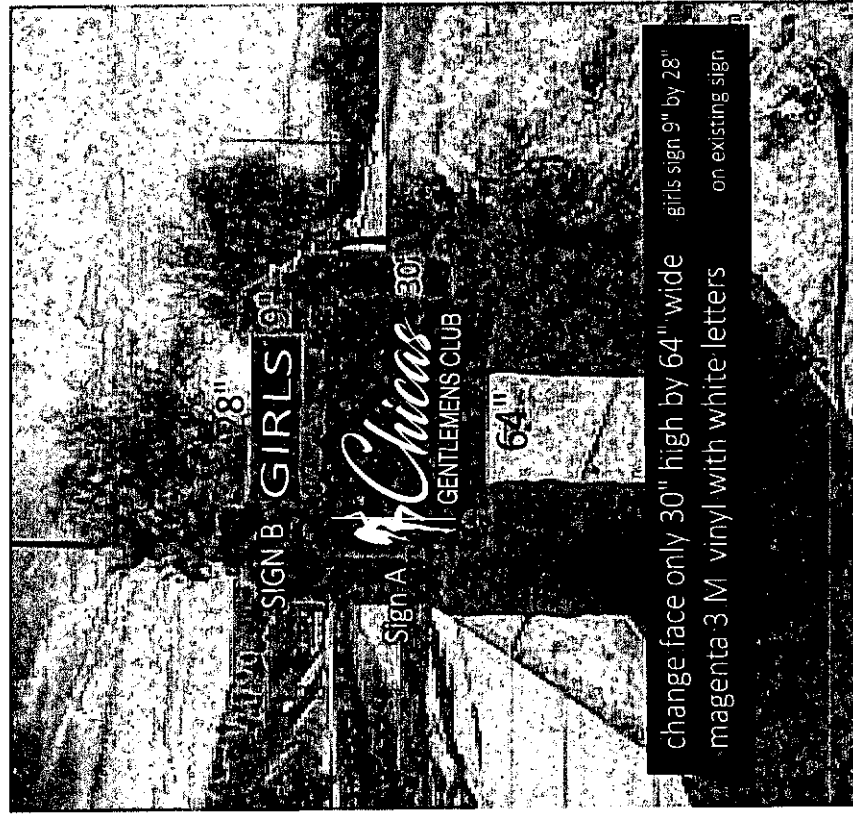
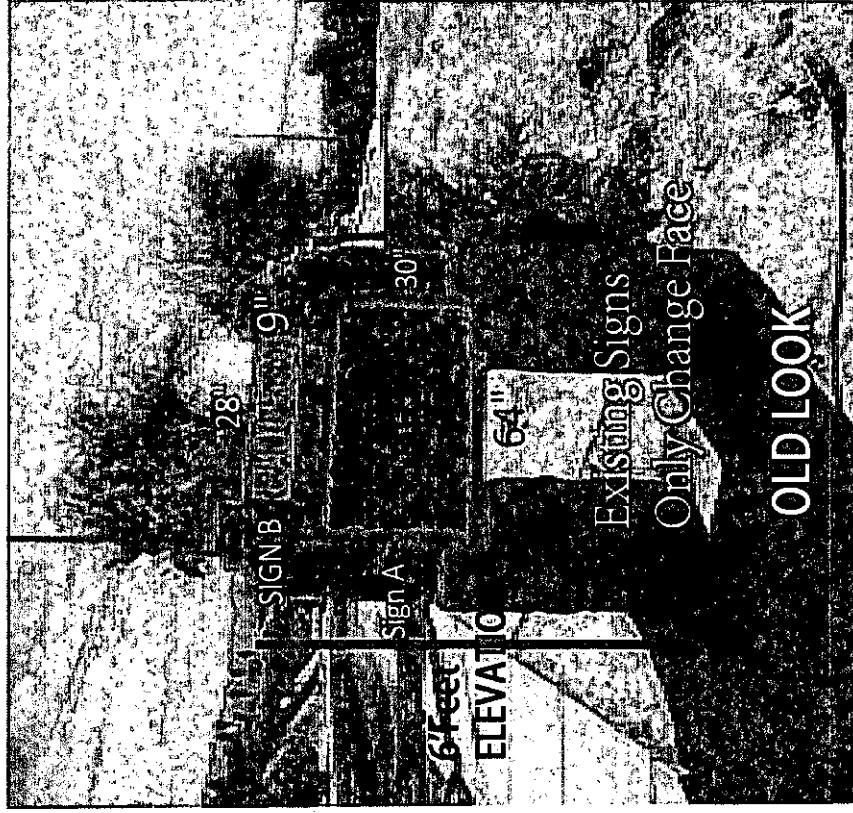
EXISTING



PROPOSED

⬆️
B

⬆️
A



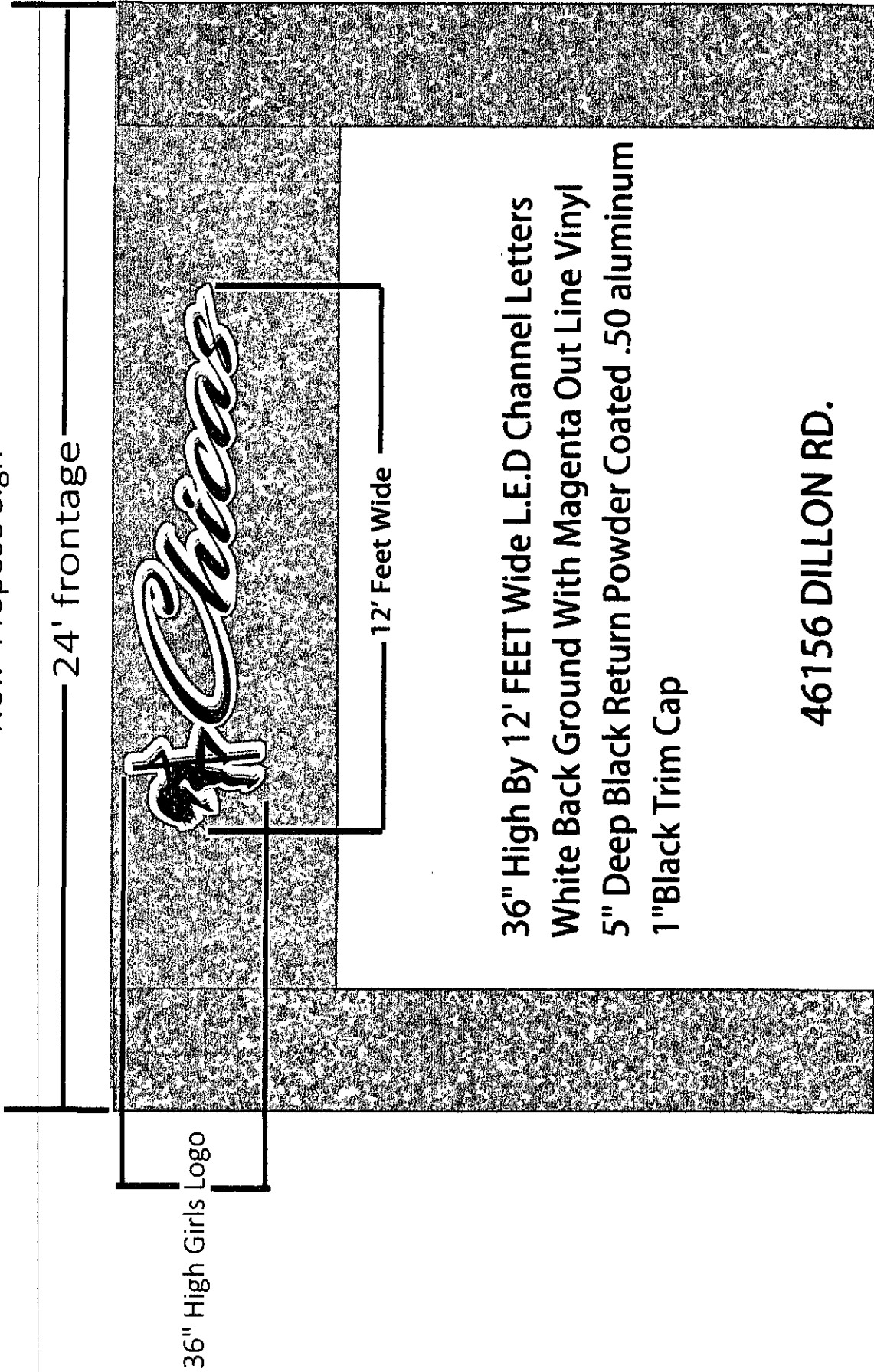
change face only 30" high by 64" wide girls sign 9" by 28" on existing sign
 magenta 3 M vinyl with white letters

③
↓



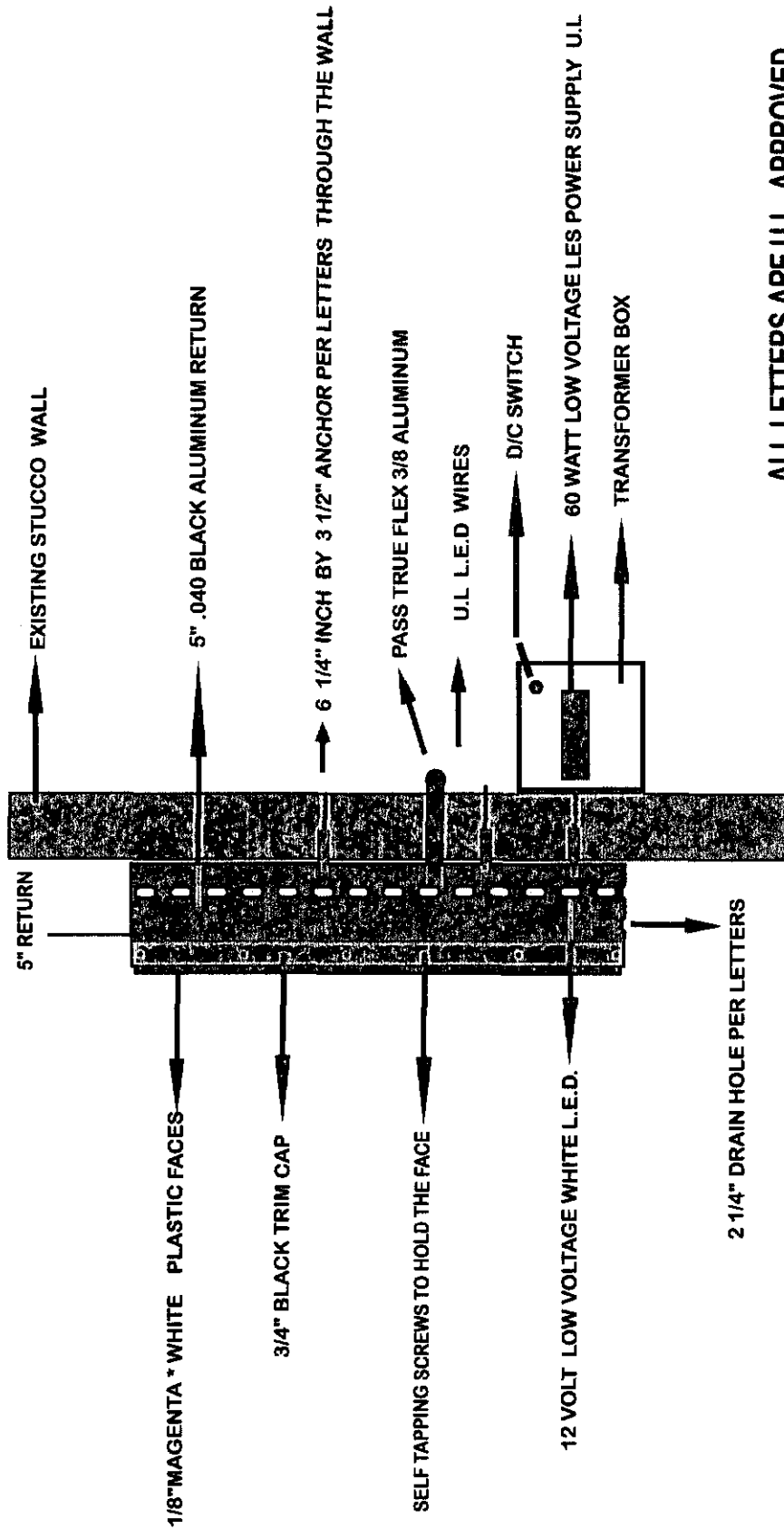
SIGN C

New Propose Sign



46156 DILLON RD.

INSTALLATION DETAILS FRONT CHANNEL LETTERS



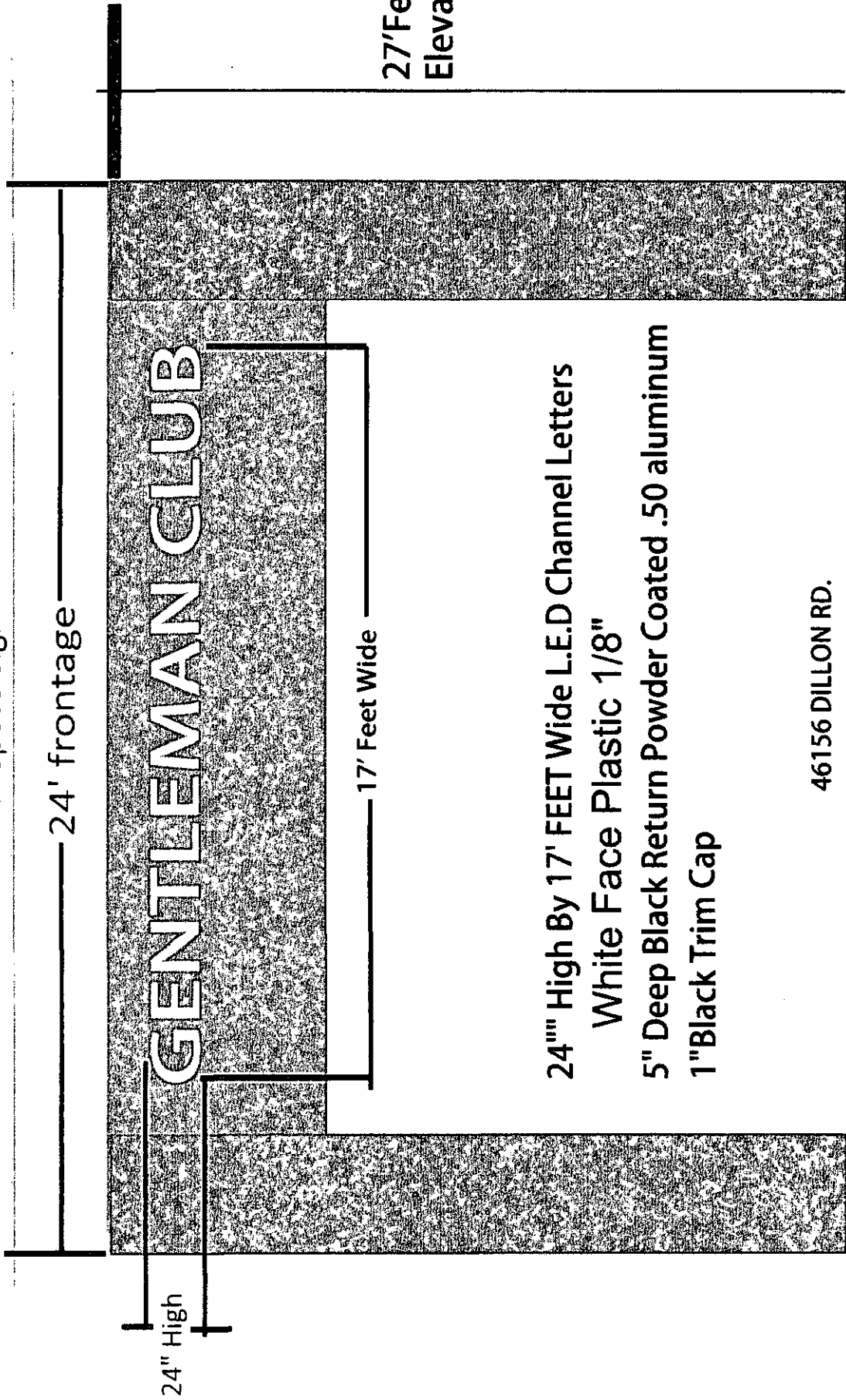
ALL LETTERS ARE U.L. APPROVED

46156 DILLON RD

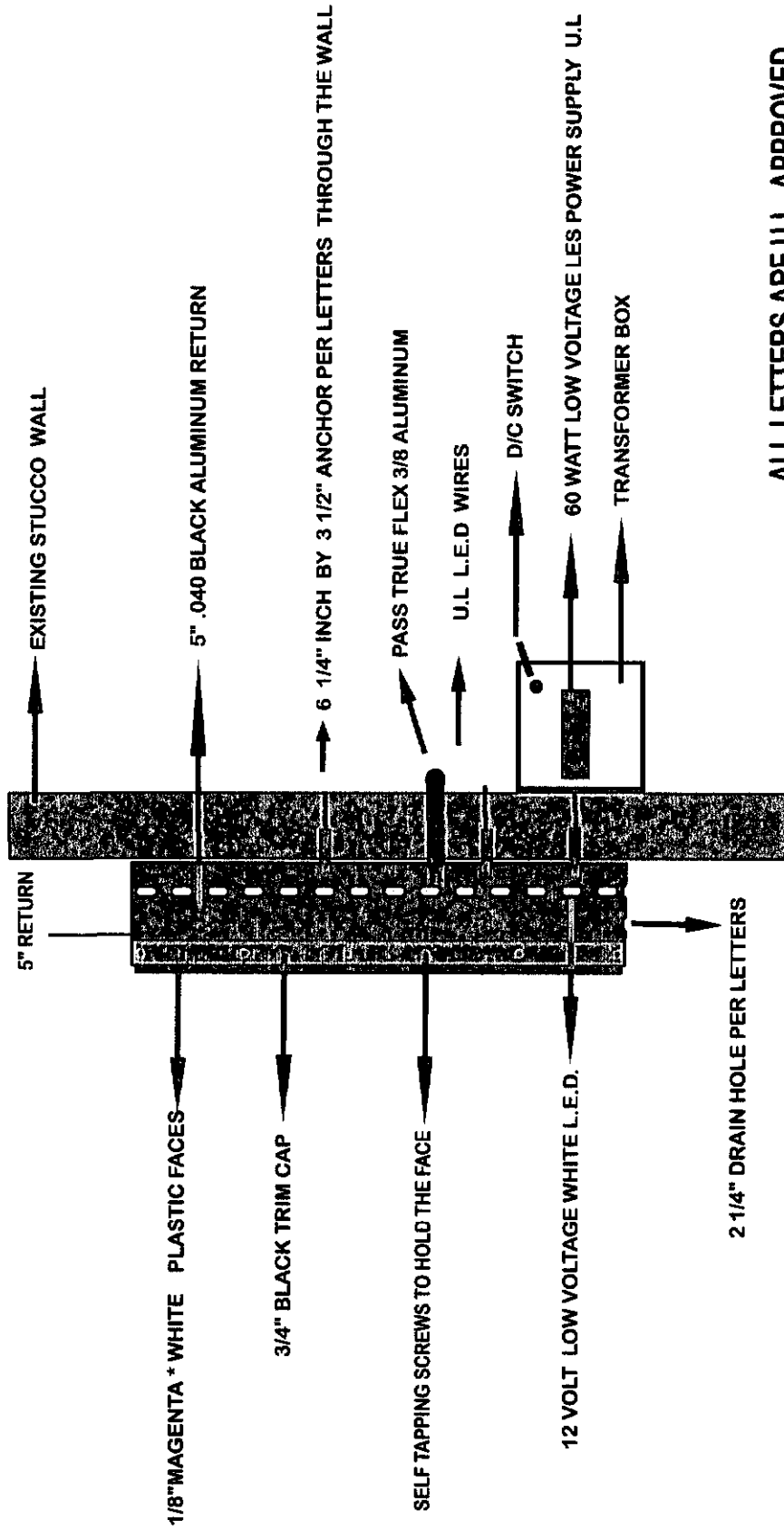


SIGN D

New Propose Sign



INSTALLATION DETAILS FRONT CHANNEL LETTERS



ALL LETTERS ARE U.L. APPROVED

46156 DILLON RD



Change Plastic Face 40" High By 8' Feet Face Change
Existing Box Magenta Color Back Ground With White Letters Vinyl

40" *Chicas*
8' Feet

SIGN E

Main Entrance Sign

46156 DILLON RD.

Sign # (F)

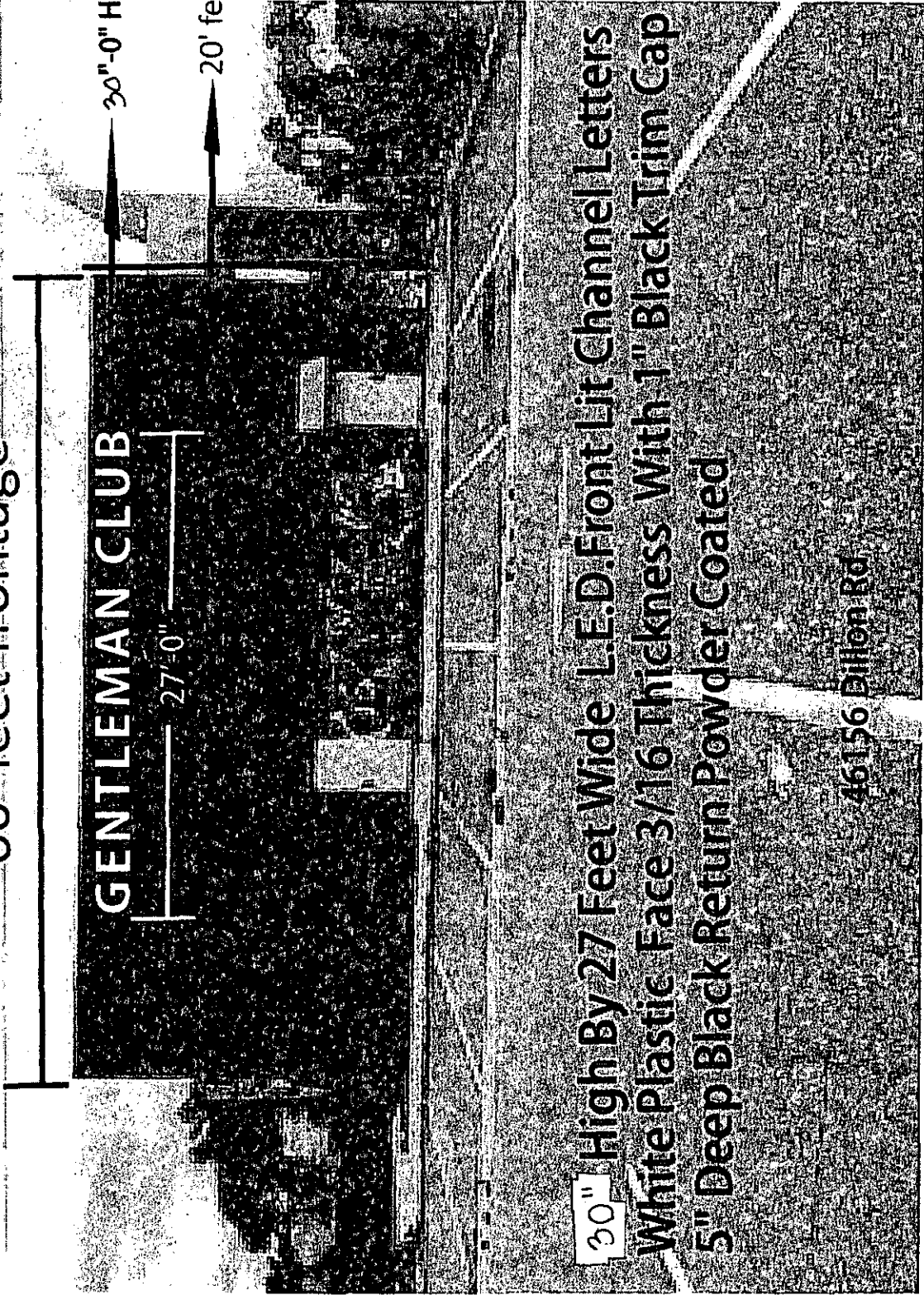
60' feet frontage

GENTLEMAN CLUB

27' 0"

30"-0" High Letters

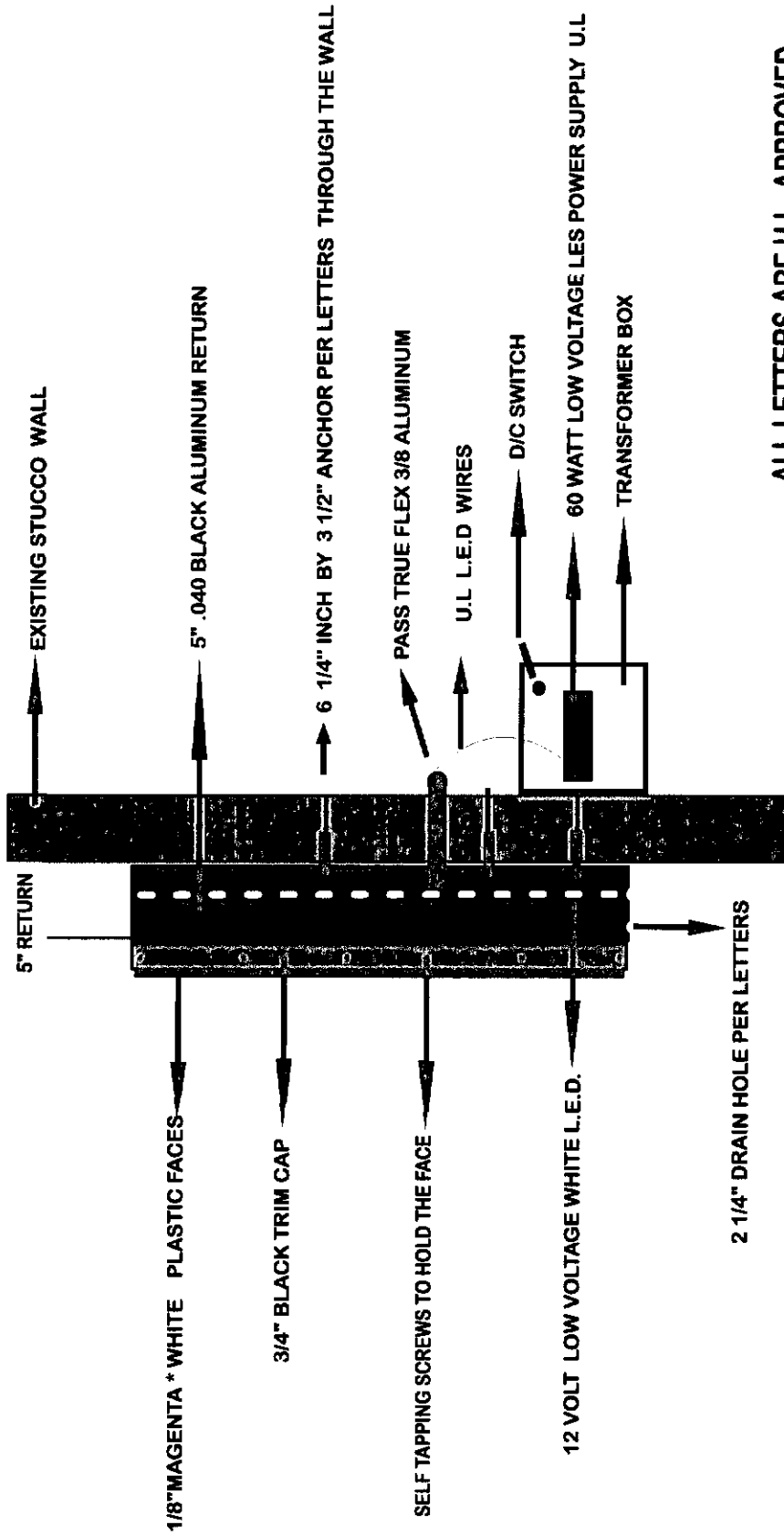
20' feet elevation



30" High By 27 Feet Wide L.E.D. Front Lit Channel Letters
White Plastic Face 3/16 Thickness With 1" Black Trim Cap
5" Deep Black Return Powder Coated

46156 Billion Rd.

INSTALLATION DETAILS FRONT CHANNEL LETTERS



ALL LETTERS ARE U.L. APPROVED

46156 DILLON RD

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**

Inspection Request Require 24 Hour Notice
(760) 398-3002



DATE: 10/17/2017
PERMIT NO: EL-2017-10-01135
USE ZONE:
OCCUPANCY: CONSTR TYPE: SQ FT:

Item 1.

Project Address: 46156 DILLON RD (BLD)
COACHELLA CA 92236

Project Valuation: \$ 0.00

Applicant's Name: KEVORK APOSHIAN
Owner's Name: KEVORK APOSHIAN

PARCEL #:
LOT #:
TRACT #:

Owner's Address:

Phone: (760) 275-6307
Fax:

Contractor's Name:
Contractor's Address:

Phone:
Fax:
Business Lic:
State Licence:
Contact Phone:

Contact Person:

Project Name:
Permit Type: ELECTRICAL PERMIT
Description of Work: ELECTRICAL RESET FOR "CHICAS GENTLEMEN CLUB" AFTER REPAIR.
Condition:

FEE(S):			
ELECTRICAL PERMIT FEE	\$115.00	ELECTRICAL SERVICE AMP	\$281.00

TOTAL FEES: \$ 396.00

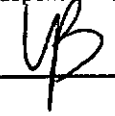
CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granting of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications. Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is



(Applicant Signature)



Building

Planning

339
Fee



CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES

DATE:
PERMIT NO:
USE ZONE:
OCCUPANCY: CONSTR TYPE: SQ FT:

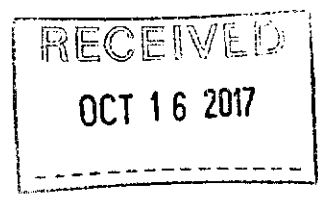
INSPECTION REQUEST REQUIRE 24 HOUR NOTICE
(760) 398-3002

Project Address: 46-156 Dillon RD
Dirección del Proyecto: Coachella CA 92236

Project Valuation: _____
Evaluación del Proyecto: _____

Applicant's Name: Kevoik Aposhian
Nombre del Solicitante: Kevoik Aposhian
Owner's Name: Kevoik Aposhian
Nombre del Propietario: Kevoik Aposhian
Owner's Address: 46-156 Dillon RD
Dirección del Propietario: Coachella CA 92236

PARCEL#
LOT#:
TRACT#:
Phone Number:
Numero de Telefono



Fax:
Fax:

Contractor's Name: Rudy Electrician
Nombre del Contratista: Rudy Electrician
Contractor's Address: Coachella CA 92236
Dirección del Contratista:

Phone Number: 760-275-6307
Numero de Telefono: 760-275-6307
Fax:
Fax:

Contact Person: Miguel A. Cruz
Persona de Contacto: Miguel A. Cruz

Bus Lic/ Licencia:
State Lic/ Licencia del Estado:
Contact Phone:
Teléfono de Contacto:

Project Name/ Nombre del Proyecto:
Permit Type/ Tipo de Permiso:
Description of Work/ Descripción de los trabajos: Chicar (rentmenant club) Electrical Permet
Condition/Condición: Electrical work

→ 1,000 AMPS

ELECTRICAL	MECHANICAL	PLUMBING
# OF SVCS 600 V/UP TO 200 AMPS	# AC/ BOILERS UP TO 100K BTU	# OF BACKFLOW DEVICES <=2"
# OF SVCS 600 V/ OVER 200 AMPS	# A/C BROILERS 100K-500K BTU	# OF BACKFLOW DEVICES >=2"
# OF SVCS 600 V/OVER 1000 AMPS	# AC/BROILERS 500K BTU-1 M BTU	# OF PLUMBING FIXTURES
# OF TEMP POWER SERVICES	# AC/BROILERS 1 M BTU- 1.75M BTU	# OF PRIVATE SEWAGE DISPOSAL
# OF SUB-POLES	# AC/BROILERS OVER 1.75M BTU	# OF SEPTIC TANKS
# OF ELECT GENERATORS/RIDES	# OF A/C UNITS	# OF SEWER CONNECTIONS
# OF BOOTH LIGHTING	# OF AIR HANDLERS < 10K CFM	# OF WATER SERVICE
# OF FIXTURES FOR REPAIR/ALT	# OF AIR HANDLERS > 10K CFM	# OF WATER HEATERS
# OF ELECTRICAL FIXTURES	# OF APPLIANCE VENTS	# OF GAS SYSTEMS
# OF RESIDENTIAL APPLIANCES	# OF FURNACES UP TO 100K BTU	# OF VACUUM/BACKFLOW DEVICES
# OF RECEPTACLES/SWITCHES/OUTLETS	# OF FURNACES OVER 100K BTU	# OF LAWNSPRINKLERS
# OF POWER APPARATUS	# OF INCINERATORS- DOMESTIC	# SWIMMING POOL/PUBLIC POOL
# OF PRIVATE SWIMMING POOL(S)	# OF EXHAUST FANS	# OF SWIMMING POOL/PUBLIC SPA
	# COMM. RANGE HOODS	# OF SWIMMING POOL/PRIVATE POOL
		# OF SWIMMING POOL/PRIVATE SPA
		# OF INDUST WASTE INTERCEPTOR

CERTIFICATION APPEARING ON APPLICATIONS have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granting of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications. Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days.

Applicant's Signature

Building 10/16/17
Planning 10/16/17

BUILDING PERMIT NO. _____

CITY OF COACHELLA, CA
1515 SIXTH STREET
COACHELLA, CA. 92236 (760) 398-3002

Building Address: 46-156 Dillon RD

Applicant: Kevin Apushkin

Mailing Address: 46156 Dillon RD

City: Coachella Zip: 92201 Tel: _____

Owner: Element Investment

Mailing Address: 6131 Goldwater Canyon

City: N-Hollywood Zip: 91606 Tel: _____

Contractor: Rudy Elediction

Mailing Address: _____

City: Coachella Zip: 92236 Tel: 760-275-6307

State Lic. & Class: _____ City License #: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provision of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class: _____ License #: _____

Date: _____ Contractor: _____

OWNER-BUILDER DECLARATION

I, hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Sec. 703.1.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and professions Code) or that he or she is exempt there from and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own

employees provided that such improvements are not intended or offered for sale. If, however, the building or improvement Item 1. is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractor's to construct the project (Sec. 7044, business and Professions Code: the Contractor's License Law does not apply to owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

I am exempt under Sec. _____ B & P C for this reason

Date: _____ Owner: _____

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier: _____ Policy # _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provide for in Section 3706 of the Labor Code, Interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

I, hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civ. C).

Lender's Name _____

Address: _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Date: 10/13/11 Applicant Signature: [Signature]

CERTIFICATE OF OCCUPANCY

***THIS TEMPORARY CERTIFICATE OF OCCUPANCY IS EFFECTIVE FOR 45 CALENDAR DAYS TO BEGIN 2/6/2018.



Division of Building Inspection

This certificate issued pursuant to the requirements of Section 307 of the Uniform Building Code certifying that at the time of issuance this structure was in compliance with the various ordinances of the city regulating building construction or use. For the following:

Use Classification: CG-COMMERCIAL- NIGHTCLUB/ ADULT ENTERTAINMENT Bldg. Permit No.: BL-2018-02-12675

Occupancy Type: A-2 Construction Type: V-B Use Zone: GENERAL COMMERCIA

Owner of Building: WILLIAM GRIVAS Address: PO BOX 2 CARDIFF, CA 92236

Building Address: 46156 DILLON RD COACHELLA, CA 92236

By: J. LUIS LOPEZ, DEVELOPMENT SERVICES DIRECTOR

Date: 2/7/2018

J. Luis Lopez
Building Official

POST IN A CONSPICUOUS PLACE

City of Coachella
Utility
1515 6th Street
Coachella, CA 92236
760-398-2702
Welcome

000030-0023 Marisol D 02/07/2018 08:30AM

PERMITS & INSPECTIONS

WILLIAM GRIVAS
BL-2018-02-12675
MISCELLANEDUS BUILDING
PERMIT
CHANGE OF
OCCUPANCY/CHANGE-OF USE
TO NIG
pending

2018 Item: BL-2018-02-12675 256.00
Payment Id: 2073

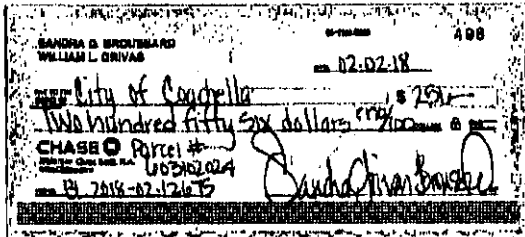
256.00

Subtotal 256.00
Total 256.00

CHECK 256.00
Check Number 0496

Change due 0.00

Paid by: WILLIAM GRIVAS



Thank you for your payment
Gracias por su pago

CUSTOMER COPY

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



DATE: **07/17/2014**
 PERMIT NO: **BL-2014-07-10327**
 USE ZONE:
 OCCUPANCY: CONSTR TYPE: SQ FT:

Item 1.

Inspection Request Require 24 Hour Notice
 (760) 398-3002

Project Address: 46156 DILLON RD
 COACHELLA CA 92236

Project Valuation: \$ 2,500.00
 PARCEL #: 603102024
 LOT #: 2

Applicant's Name: QUALITY RELIABLE SERVICE
 Owner's Name: RAMON M. GUERRERO
 Owner's Address: 46156 DILLON RD
 COACHELLA CA 92236

TRACT #: 0.00

Phone:
 Fax:

Contractor's Name: QUALITY RELIABLE SERVICE
 Contractor's Address: 81211 INDIO BLVD
 2-B
 INDIO CA 92201
 Contact Person: SERGIO RODRIGUEZ

Phone: (760) 619-6565
 Fax:
 Business Lic:
 State Licence:
 Contact Phone: (760) 619-6565

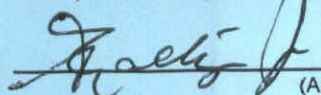
Project Name:
 Permit Type: SIGN PERMIT
 Description of Work: INSTALL NEW OVAL CABINET SIGN (84 SQ FT) AND REMOVE "NEON" LETTERING ON
 Condition: EXISTING COMMERCIAL BUILDING

FEE(S):					
SIGN FEE	\$224.00	Plan Check Fees	\$209.00	Senate Bill 1473	\$1.00

TOTAL FEES: \$ 434.00

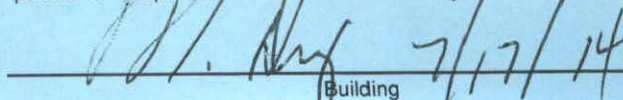
CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.



 (Applicant Signature)

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.
 Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is



 Building 7/17/14

Planning



CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES

DATE:
PERMIT NO:
USE ZONE:
OCCUPANCY: CONSTR TYPE: SQ FT:

INSPECTION REQUEST REQUIRE 24 HOUR NOTICE
(760) 398-3002

Project Address:

Dirección del Proyecto: 4656 DILON RD
COACHELLA CA 92236

Project Valuation: _____

Evaluación del Proyecto: _____

PARCEL#

LOT#:

TRACT#:

Phone Number:

Numero de Telefono

Applicant's Name:

Nombre del Solicitante: RAMON M. GUERRERO

Owner's Name:

Nombre del Propietario: BILL GRIVAS

Owner's Address:

Dirección del Propietario:

Fax:

Fax:

Contractor's Name:

Nombre del Contratista: LUIS DURAN

Phone Number:

Numero de Telefono: (909) 587 3021

Contractor's Address:

Dirreccion del Contratista:

Fax:

Fax:

Bus Lic/ Licencia:

State Lic/Licencia del Estado:

Contact Phone:

Telefono de Contacto:

224
p/c 209.
\$434.00

Contact Person:

Persona de Contacto

Project Name/ Nombre del Proyecto:

Permit Type/ Tipo de Permiso:

Description of Work/ Descripción de los trabajos: INSTALL NEW OVAL CABINET SIGN (84 S.F.)

Condition/Condición: AND REMOVE "NEON" LETTERING.

ELECTRICAL	MECHANICAL	PLUMBING
# OF SVCS 600 V/UP TO 200 AMPS	# AC/ BOILERS UP TO 100K BTU	# OF BACKFLOW DEVICES <=2"
# OF SVCS 600 V/ OVER 200 AMPS	# A/C BROILERS 100K-500K BTU	# OF BACKFLOW DEVICES >=2"
# OF SVCS 600 V/OVER 1000 AMPS	# AC/BROILERS 500K BTU-1M BTU	# OF PLUMBING FIXTURES
# OF TEMP POWER SERVICES	#AC/BROILERS 1M BTU- 1.75M BTU	# OF PRIVATE SEWAGE DISPOSAL
# OF SUB-POLES	# AC/BROILERS OVER 1.75M BTU	# OF SEPTIC TANKS
# OF ELECT GENERATORS/RIDES	# OF A/C UNITS	# OF SEWER CONNECTIONS
# OF BOOTH LIGHTING	# OF AIR HANDLERS < 10K CFM	# OF WATER SERVICE
# OF FIXTURES FOR REPAIR/ALT	# OF AIR HANDLERS > 10K CFM	# OF WATER HEATERS
# OF ELECTRICAL FIXTURES	# OF APPLIANCE VENTS	# OF GAS SYSTEMS
# OF RESIDENTIAL APPLIANCES	# OF FURNACES UP TO 100K BTU	# OF VACUUM/BACKFLOW DEVICES
# OF RECEPTACLES/SWITCHES/OUTLETS	# OF FURNACES OVER 100K BTU	# OF LAWNSPRINKLERS
# OF POWER APPARATUS	# OF INCINERATORS- DOMESTIC	# SWIMMING POOL/PUBLIC POOL
# OF PRIVATE SWIMMING POOL(S)	# OF EXHAUST FANS	# OF SWIMMING POOL/PUBLIC SPA
	# COMM. RANGE HOODS	# OF SWIMMING POOL/PRIVATE POOL
		# OF SWIMMING POOL/PRIVATE SPA
		# OF INDUST WASTE INTERCEPTOR

CERTIFICATION APPEARING ON APPLICATIONS have carefully examined the above completed *Application and Permit* and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications. Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days

Applicant's Signature _____

Building Planning *[Signature]* 7/8/14

CLIENT

Culichi Town

CONTACT

Misael Guerrero

ADDRESS

46156 Dillon Rd

CITY

Coachella

STATE

CA

DESIGNER

DATE

06 / 19 / 2014

SCALE

NTS

PROJECT

1 SIGNS BOX (REVERSE)

14'

6'



APPROVED	
DEPT.	INITIALS DATE
BUILDING	
PLANNING	<i>J. Lopez</i> 7/8/14
ENGINEERING	

LANDLORD APPROVAL: SIGNATURE:

DATE:

APPROVED AS IS:

MAKE REVISIONS AND SUBMIT NEW PROOF:

CLIENT APPROVAL: SIGNATURE:

DATE:

Item 1.

CLIENT

Culichi Town

CONTACT

Misael Guerrero

ADDRESS

46156 Dillon Rd

CITY

Coachella

STATE

CA

DESIGNER

DATE

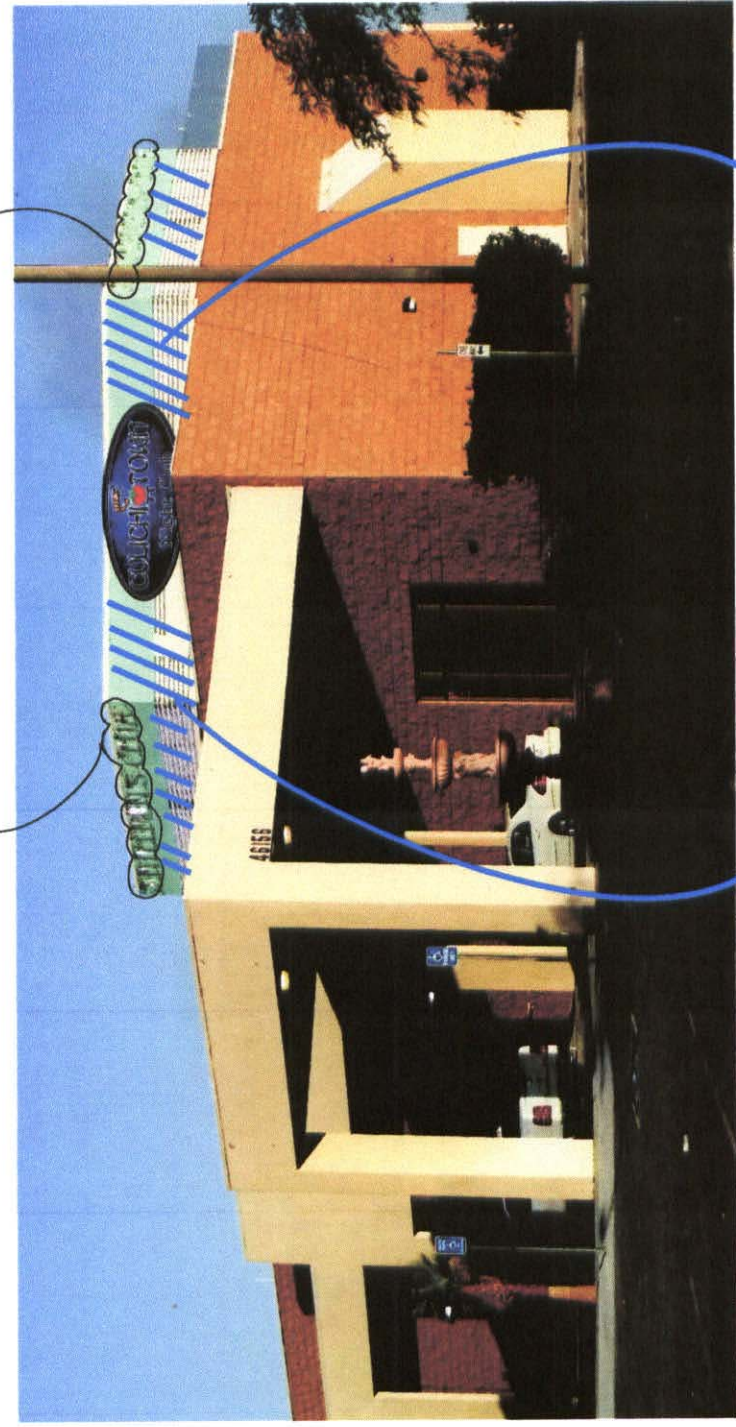
06 / 19 / 2014

SCALE

NTS

PROJECT

1 SIGNS BOX (REVERSE)



Dimension: Front 150'
Side 75'

Item 1.

LANDLORD APPROVAL:

SIGNATURE:

DATE:

APPROVED AS IS:

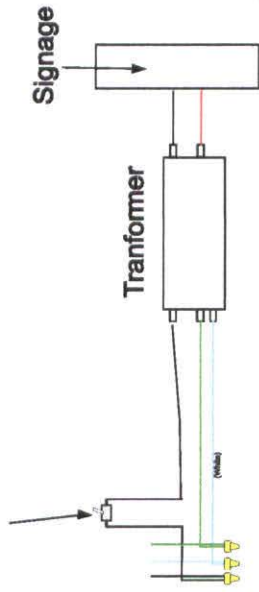
MAKE REVISIONS AND SUBMIT NEW PROOF:

CLIENT APPROVAL:

SIGNATURE:

DATE:

WIRING DIAGRAM PLAN



CLIENT
Culichi Town

CONTACT
Misael Guerrero

ADDRESS
46156 Dillon Rd

CITY
Coachela

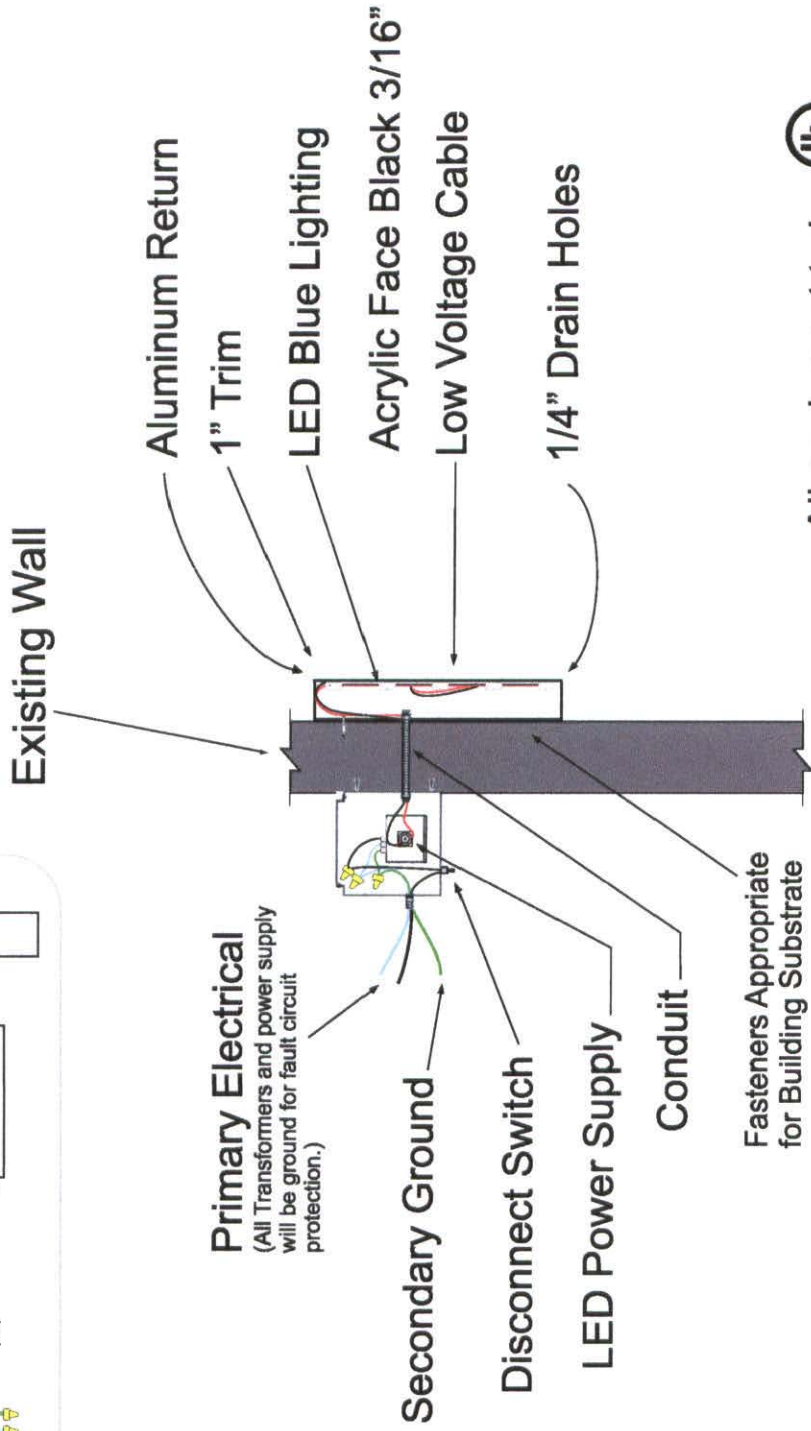
STATE
CA

DESIGNER

DATE
06 / 19 / 2014

SCALE
NTS

PROJECT



All equipment to be **UL LISTED**

LANDLORD APPROVAL: SIGNATURE: _____ DATE: _____

APPROVED AS IS: MAKE REVISIONS AND SUBMIT NEW PROOF:

CLIENT APPROVAL: SIGNATURE: _____ DATE: _____

Item 1.

1. SIGNS BOX (REVERSE)

46156 Dillon Rd • Coachella, CA 92236



CLIENT

Culichi Town

CONTACT

Misael Guerrero

ADDRESS

46156 Dillon Rd

CITY

Coachella

STATE

CA

DESIGNER

DATE

06 / 19 / 2014

SCALE

NTS

PROJECT

*1 SIGNS BOX (REVERSE)

LANDLORD APPROVAL:

SIGNATURE: _____

DATE: _____

APPROVED AS IS:

MAKE REVISIONS AND SUBMIT NEW PROOF:

CLIENT APPROVAL:

SIGNATURE: _____

DATE: _____

Item 1.

46156 Dillon Rd • Coachella, CA 92236

CLIENT
Culichi Town

CONTACT
Misael Guerrero

ADDRESS
46156 Dillon Rd

CITY
Coachella

STATE
CA

DESIGNER

DATE
06 / 19 / 2014

SCALE
NTS

PROJECT

1. SIGNS BOX (REVERSE)



LANDLORD APPROVAL:

APPROVED AS IS:

MAKE REVISIONS AND SUBMIT NEW PROOF:

SIGNATURE: _____

DATE: _____

CLIENT APPROVAL:

SIGNATURE: _____

DATE: _____

CITY OF COACHELLA, CA
1515 SIXTH STREET
COACHELLA, CA. 92236 (760) 398-3002

Building Address: _____

Applicant: _____

Mailing Address: _____

City: _____ Zip: _____ Tel: _____

Owner: _____

Mailing Address: _____

City: _____ Zip: _____ Tel: _____

Contractor: _____

Mailing Address: _____

City: _____ Zip: _____ Tel: _____

State Lic. & Class: _____ City License #: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provision of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class: _____ License #: _____

Date: _____ Contractor: _____

OWNER-BUILDER DECLARATION

I, hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Sec. 703.1.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and professions Code) or that he or she is exempt there from and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own

employees provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder shall bear the burden of proving that he or she did not build or improve for the purpose of sale.)

Item 1.

I, as owner of the property, am exclusively contracting with licensed contractor's to construct the project (Sec. 7044, business and Professions Code: the Contractor's License Law does not apply to owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

I am exempt under Sec. _____ B & P C for this reason

Date: _____ Owner: _____

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier: _____ Policy # _____ (This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provide for in Section 3706 of the Labor Code, Interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

I, hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civ. C).

Lender's Name _____

Address: _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Date: 07-02-14 Applicant Signature: _____



City of Coachella
760.398.2702

1 Reg1
1419701-1 07/17/2014 BR1 T3
Thu Jul17,2014 02:24PM Trans#88-88
Name: QUALITY RELIABLE SERVICE
Addr: 46156 DILLON RD COACHELLA,CA 922
88 \$434.00 BLDG PER - building permi
Customer #: 004167
* Permit #: BL-2014-07-10327
Amt: \$434.00
1 ITEM(S): TOTAL: \$434.00
Visa PAID \$434.00

Thank You - Gracias por su pago
Duplicate

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



DATE: 06/14/2016
 PERMIT NO: EL-2016-06-01031
 USE ZONE:
 OCCUPANCY: CONSTR TYPE: SQ FT:

Item 1.

Inspection Request Require 24 Hour Notice
 (760) 398-3002

Project Address: 46156 DILLON RD
 COACHELLA CA 92236

Project Valuation: \$ 0.00
 PARCEL #: 603102024
 LOT #: 2
 TRACT #: 0.00

Applicant's Name: ROBERT HOCINI
 Owner's Name: ROBERT HOCINI
 Owner's Address: 46156 DILLON RD
 COACHELLA CA 92236

Phone: (310) 272-0638
 Fax:

Contractor's Name:
 Contractor's Address:

Phone:
 Fax:
 Business Lic:
 State Licence:
 Contact Phone:

Contact Person:

Project Name:
 Permit Type: ELECTRICAL PERMIT
 Description of Work: RESET ELECTRICAL METER ON EXISTING COMMERCIAL BUILDING "CULICHI TOWN"
 Condition:

FEE(S):			
ELECTRICAL PERMIT FEE	\$115.00	ELECTRICAL SERVICE AMP	\$224.00

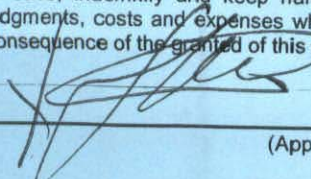
TOTAL FEES: \$ 339.00

CERTIFICATION APPEARING ON APPLICATIONS

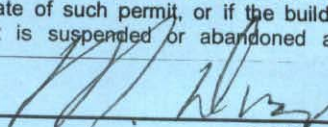
I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granting of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is



 (Applicant Signature)



 Building

 Planning



**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**

DATE:
PERMIT NO:
USE ZONE:
OCCUPANCY: CONSTR TYPE: SQ FT:

INSPECTION REQUEST REQUIRE 24 HOUR NOTICE
(760) 398-3002

Project Address: 46156 Dillon Road
Dirección del Proyecto: Coachella, CA 92236

Project Valuation: _____

Evaluación del Proyecto: _____

PARCEL#

LOT#:

TRACT#:

Phone Number:

Numero de Telefono

Applicant's Name:

Nombre del Solicitante

Owner's Name: Robert Hocini

Nombre del Propietario:

Owner's Address: 46156 Dillon Road
Dirección del Propietario: Coachella, CA 92236

Fax:

Fax:

Contractor's Name:

Nombre del Contratista

Contractor's Address:

Dirrección del Contratista:

Phone Number: (310)272-0638

Numero de Telefono:

Fax:

Fax:

Bus Lic/ Licencia:

State Lic/Licencia del Estado:

Contact Phone:

Teléfono de Contacto:

Contact Person:

Persona de Contacto

Project Name/ Nombre del Proyecto:

Permit Type/ Tipo de Permiso:

Description of Work/Descripción de los trabajos: Electricity (power turned on) or Activation

Condition/Condición:

ELECTRICAL	MECHANICAL	PLUMBING
# OF SVCS 600 V/UP TO 200 AMPS	# AC/ BOILERS UP TO 100K BTU	# OF BACKFLOW DEVICES <=2"
# OF SVCS 600 V/ OVER 200 AMPS	# A/C BROILERS 100K-500K BTU	# OF BACKFLOW DEVICES >=2"
# OF SVCS 600 V/OVER 1000 AMPS	# AC/BROILERS 500K BTU-1M BTU	# OF PLUMBING FIXTURES
# OF TEMP POWER SERVICES	#AC/BROILERS 1M BTU- 1.75M BTU	# OF PRIVATE SEWAGE DISPOSAL
# OF SUB-POLES	# AC/BROILERS OVER 1.75M BTU	# OF SEPTIC TANKS
# OF ELECT GENERATORS/RIDES	# OF A/C UNITS	# OF SEWER CONNECTIONS
# OF BOOTH LIGHTING	# OF AIR HANDLERS < 10K CFM	# OF WATER SERVICE
# OF FIXTURES FOR REPAIR/ALT	# OF AIR HANDLERS > 10K CFM	# OF WATER HEATERS
# OF ELECTRICAL FIXTURES	# OF APPLIANCE VENTS	# OF GAS SYSTEMS
# OF RESIDENTIAL APPLIANCES	# OF FURNACES UP TO 100K BTU	# OF VACUUM/BACKFLOW DEVICES
# OF RECEPTACLES/SWITCHES/OUTLETS	# OF FURNACES OVER 100K BTU	# OF LAWNSPRINKLERS
# OF POWER APPARATUS	# OF INCINERATORS- DOMESTIC	# SWIMMING POOL/PUBLIC POOL
# OF PRIVATE SWIMMING POOL(S)	# OF EXHAUST FANS	# OF SWIMMING POOL/PUBLIC SPA
	# COMM. RANGE HOODS	# OF SWIMMING POOL/PRIVATE POOL
		# OF SWIMMING POOL/PRIVATE SPA
		# OF INDUST WASTE INTERCEPTOR

CERTIFICATION APPEARING ON APPLICATIONS have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications. Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days.

Applicant's Signature _____

Building 6/14/16

Planning 6/14/16

9AM.



City of Coachella
760.398.2702

1 Reg1
1616601-1 06/14/2016 BR1 T2
Tue Jun14,2016 04:27PM Trans#26-26
Name: HOCINI ROBERT
Addr: 46156 DILLON RD COACHELLA,CA 922
26 \$339.00 BLDG PER - building permi
Customer #: 005049
* Permit #: EL-2016-06-01031
Amt: \$339.00
1 ITEM(S): TOTAL: \$339.00
Cash PAID \$340.00
CHANGE DUE: \$1.00

Thank You - Gracias por su pago
Duplicate

FINISH LEGEND:

- C-X CONCRETE
- E-X EPOXY
- F-X FABRIC/UPHOLSTERY
- G-X GLASS
- M-X METAL
- PA PAINT
- S-X STONE/SOLID SURFACE
- T-X TILE
- W-X WOOD
- WC-X WALL COVERING

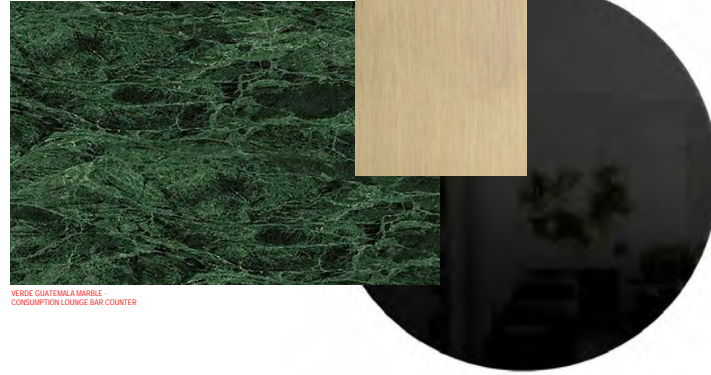
SHEET NOTES:

1. SEE SHEETS A0.10 FOR MATERIAL SAMPLES.
2. SEE SHEETS A0.11, A0.12 AND.13 FOR COLOR RENDERED VIEWS.
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE.

BRUSHED BRASS SIGNAGE AND TRIM - ENTRY / CONSUMPTION LOUNGE / PORTE COCHERE CEILING



BLACK MIRROR ACCENT WALL - CONSUMPTION LOUNGE BAR



BLACK STAINED PLYWOOD PANELING - CONSUMPTION LOUNGE / VIP CONSUMPTION LOUNGE CEILING



CUSTOM GRAPHIC WALLPAPER - EPOXY FLOORING AND CABINETS AT ENTRY TO MATCH

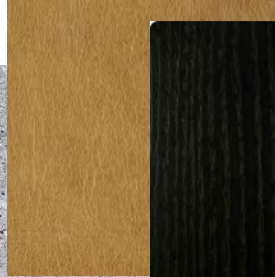


VEINDE QUATAMA MARBLE - CONSUMPTION LOUNGE BAR COUNTER



EBONIZED ASH - STOOLS AND SIDE TABLES

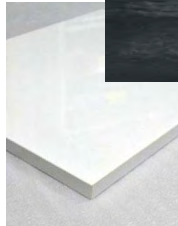
DISTRESSED CAMEL FAUX LEATHER UPHOLSTERY - CHAIR & STOOLS



PERBED GREEN FAUX LEATHER UPHOLSTERY - BANQUETTE



SOLID SURFACE DISPLACE CASE - CAESERSTONE - BLACK TAMPAL



SEMGLOSS WHITE LACQUER CABINETS

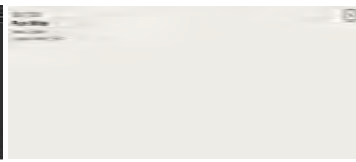
BLACK SHEER CURTAIN



POLISHED AND SEALED CONCRETE STRUCTURAL SLAB



P-5 SHERWIN WILLIAMS TRICORN BLACK (SW 6256)



P-4 SHERWIN WILLIAMS PURE WHITE (SW 7000)



P-3 SHERWIN WILLIAMS RIPE OLIVE (SW 6299)



P-2 SHERWIN WILLIAMS CAVERN CLAY (SW 7703)



P-1 SHERWIN WILLIAMS TOUCH OF SAND (SW 9085)

PROJECT:
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE UNPAID INTELLECTUAL PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS IN ALL CIRCUMSTANCES. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISSEMINATED, TRANSMITTED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONSENT TO THE USE OF THIS DRAWING FOR THE PROJECTS AND ACCEPTANCE OF THESE CONDITIONS.

SHEET TITLE:
MATERIAL BOARD

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"
DATE: 12/18/2019
DRAWN BY: Author



PROJECT NUMBER: 1908

DATE: 12/18/2019

DRAWN BY: Author

A0.10

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- ST.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING



VIEW TO ENTRY / RESTAURANT SEATING FROM DRIVE



VIEW TO ENTRY FROM PARKING



VIEW TO BUILDING FROM DRIVEWAY



PROJECT:
COACHELLA CAN LLC -
APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE OWNERS' SOLE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS IN PERPETUITY. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISSEMINATED, TRANSMITTED, OR OTHERWISE COMMUNICATED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONVICTION OF VIOLATION OF THESE RESTRICTIONS.

SHEET TITLE:
3D VIEWS EXTERIOR

PLANS AT SCALE NOTED UNLESS PRINTED AT SCALE 1/8"=1'-0"
DATE: 12/18/2019
DRAWN BY:  



VIEW OF NORTH FACADE FROM EAST PARKING



VIEW OF SOUTH AND EAST FACADES FROM SOUTH DRIVE



VIEW WEST FACADE / RESTAURANT SEATING FROM PARKING LOT


PROJECT:
COACHELLA CAN LLC -
APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

THIS DRAWING AND THE DESIGN, ANNOTATIONS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE WORK PRODUCT OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONVICTION OF VIOLATION OF THESE RESTRICTIONS.

SHEET TITLE:
3D VIEWS EXTERIOR

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"
DATE: 12/18/2019
DRAWN BY: 

FINISH LEGEND:

C.X	CONCRETE
E.X	EPOXY
F.X	FABRIC/POLYESTER
G.X	GLASS
M.X	METAL
P.X	PAINT
ST.X	STONE/SOLID SURFACE
T.X	TILE
W.X	WOOD
WC.X	WALL COVERING



VIEW OF RETAIL FROM HALLWAY



VIEW OF RETAIL FROM DISPLAY / QUEUE



VIEW OF RETAIL / LOUNGE HALLWAY FROM LOBBY



VIEW OF LOBBY FROM ENTRY DOOR

PROJECT:
COACHELLA CANN A LLC -
APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE UNPAID INTELLECTUAL PROPERTY OF STUDIO REN ARCHITECTS. IT IS THE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS IN PERPETUITY. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISSEMINATED, TRANSMITTED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONVICTION OF VIOLATION OF THESE AGREEMENTS.

SHEET TITLE:
3D VIEWS INTERIOR

PLANS AT SCALE UNLESS NOTED OTHERWISE
DATE: 12/18/2019
DRAWN BY: Austin

FINISH LEGEND:

- CX CONCRETE
- EX EPOXY
- FX FABRIC/UPHOLSTERY
- GX GLASS
- MX METAL
- PX PAINT
- STX STONE/SOLID SURFACE
- TX TILE
- WX WOOD
- WXX WALL COVERING



VIEW OF VIP CONSUMPTION LOUNGE



VIEW OF RETAIL & LOUNGE ENTRY FROM CONSUMPTION BAR



VIEW OF LOUNGE FROM DOOR



VIEW TO LOUNGES FROM RETAIL POINT OF SALE

PROJECT:
COACHELLA CANA LLC -
APPLICATION

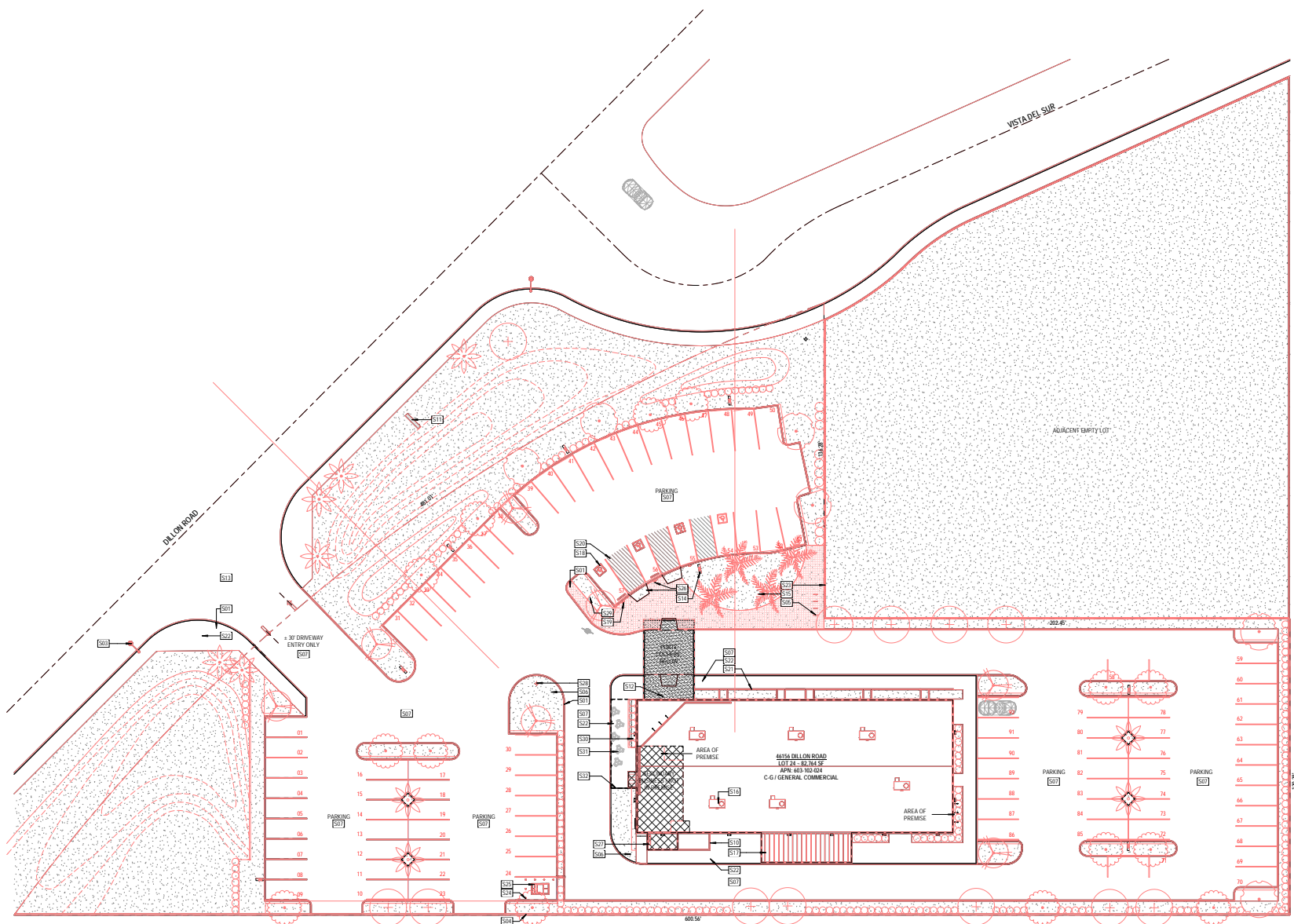
4154 DILLON ROAD,
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE OWNERS' AS-BUILT RECORD OF THE PROJECT. THE DRAWING SHALL BE USED AS A REFERENCE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION OR RECONSTRUCTION OF THE PROJECT. THE DRAWING IS THE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS IN PERPETUITY. NO PART THEREOF SHALL BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONSENT OR ACCEPTANCE OF THESE CONDITIONS.

SHEET TITLE:
3D VIEWS INTERIOR

PLANS AT SCALE UNLESS NOTED OTHERWISE AT 1/4"=1'-0"
ELEVATIONS AT SCALE UNLESS NOTED OTHERWISE AT 1/8"=1'-0"
PROJECT NUMBER: 1908
DATE: 12/18/2019
DRAWN BY: Author



- KEYNOTE LEGEND - SITE PLAN**
- S01 (E) CURB
 - S02 (N) CURB CUT, ADD TRUNCATED DOMES WHERE REQ'D
 - S03 (E) STREET LIGHT, TYP
 - S04 (E) 4" OF HIGH MASONRY SITE WALL WITH CHAINLINK FENCE ABOVE
 - S05 (N) BIKE PARKING STALLS
 - S06 (N) PLANTER W/ DROUGHT TOLERANT / NATIVE PLANTINGS, S.I.D.
 - S07 (E) PARKING ASPHALT PARKING LOT
 - S08 (E) STANDARD PARKING SPACES WITH STRIPING
 - S10 (E) 4" OF MASONRY TRASH ENCLOSURE WITH METAL GATES
 - S11 (E) MONUMENT BUILDING SIGNAGE
 - S12 (N) BUILDING ENTRANCE
 - S13 (E) PROPERTY ENTRY AND EXIT
 - S14 (E) SITE LIGHTING, TYP.
 - S15 (E) CONCRETE HARDSCAPE
 - S16 (E) ROOSTOP/MECHANICAL UNIT
 - S17 (E) TRELLIS/MASONRY PATIO ENCLOSURE
 - S18 (E) ACCESSIBLE PARKING DESIGNATION
 - S19 (E) ACCESSIBLE PARKING SIGNAGE
 - S20 (E) ACCESSIBLE PARKING/PATH STRIPING
 - S21 (E) BUILDING SCREEN WALL
 - S22 (E) SHERBARK
 - S23 (E) FENCE
 - S24 (E) CONCRETE BOLLARDS AND PAD
 - S25 (E) TRANSFORMER
 - S26 (E) WHEELSTOP
 - S27 (E) UTILITY METERS
 - S28 (N) FIRE HYDRANT
 - S29 (E) FOUNTAIN
 - S30 (N) COUNTERTOP
 - S31 (N) FURNITURE
 - S32 (N) FABRIC AWNING W/ MISTERS

- SHEET NOTES:**
1. SEE LANDSCAPE DRAWINGS FOR PLANTINGS AND TOPOGRAPHY
 2. OUTDOOR PARKING AREA LIGHTING SHALL COMPLY WITH SECTION 17.64.200 P.M.C.
 3. HOURS OF OPERATION ARE TO BE LISTED AS 7AM TO 10PM DAILY
 4. MAXIMUM AVERAGE ILLUMINATION AT GROUND LEVEL SHALL NOT EXCEED THREE (3) FOOT CANDLES WHEN THE PARKING IS LOCATED WITHIN A NONRESIDENTIAL ZONING DISTRICT, PER 17.64.200 P.M.C.
 5. OUTDOOR PARKING AREA LIGHTING SHALL NOT EXCEED 18' IN HEIGHT, UNLESS SPECIFICALLY APPROVED BY THE DESIGN COMMISSION OR OTHER APPLICABLE REVIEW AUTHORITY, AND EXCEPT WHEN LOCATED WITHIN CITY PARKS.

- LEGEND**
- PROPERTY LINE
 - - - - - SET BACK
 - X-X-X-X-X-X-X-X-X-X-X- CHAINLINK FENCE
 - [Hatched Box] ACCESSIBILITY STRIPING
 - [Dotted Box] TRUNCATED DOMES

PROJECT:
COACHELLA CAN LLC -
APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92336

NO. ISSUE/REVISION DATE

SHEET TITLE:

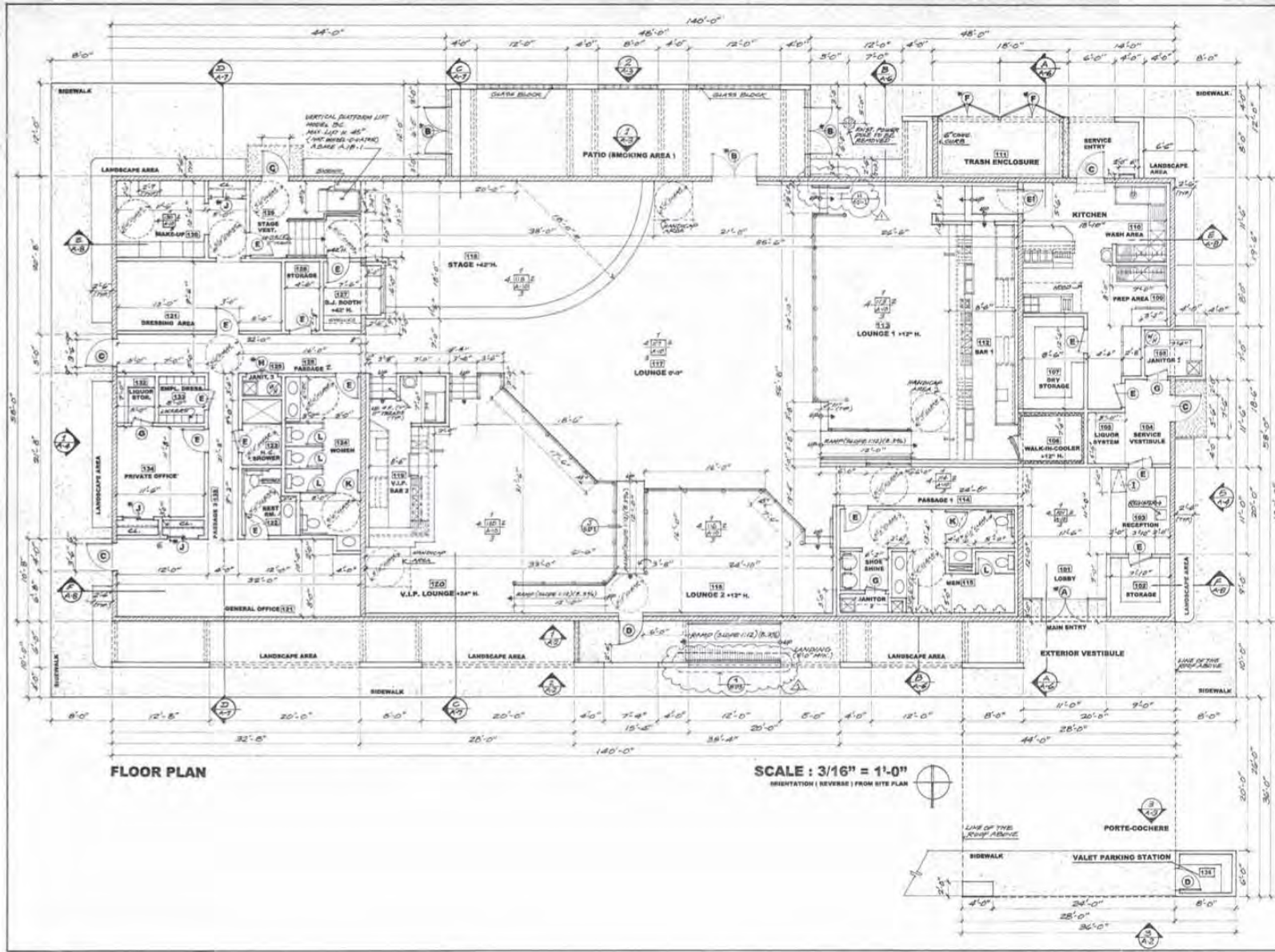
SITE PLAN

PLANS AT SCALE NOTED WERE PRINTED AT 24"X36" SCALE
PARKING SIGNAGE SHALL BE PRINTED AT 24"X36" SCALE

PROJECT NUMBER: 1908
DATE: 12/18/2019
DRAWN BY: BMC

A1.01

1 SITE PLAN
12-2019



FLOOR PLAN

SCALE: 3/16" = 1'-0"
ORIENTATION (REVERSE) FROM SITE PLAN

A.M.C.E.
CONSULTING ENGINEERS
REGISTERED PROFESSIONAL ENGINEERS
ARCHITECTURE
H. O'CAJIZ & ASSOC.
ARCHITECTS



REVISIONS:

#	DESCRIPTION	DATE
1	FOR COMMENTS	2-28-08

ALL TOTAL DIMENSIONS AND SPECIFICATIONS SHOWN HEREIN ARE THE PROPERTY OF H. O'CAJIZ & ASSOCIATES. THESE DIMENSIONS AND SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND SPECIFICATIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

SEVENTH HEAVEN GENTLEMEN'S CLUB
FLOOR PLAN
AP #2 603-012-024 DILLON RD COACHELLA CA 92236
OWNERS: ROBERT FOSTER / HORCOS S. ACER TEL: (657) 904 9377

DATE: 08-28-2001
SCALE: 3/16" = 1'-0"
DRAWN: M.C.C.
JOB: 08-001
SHEET 1
OF 12 SHEETS
A-1

PROJECT: COACHELLA CAN LLC - APPLICATION

4155 DILLON ROAD, COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS AND ALL OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE UNPAID INTELLECTUAL PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS IN PERPETUITY. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISSEMINATED, DISTRIBUTED, TRANSMITTED OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONVICTION OF VIOLATION OF THESE RESTRICTIONS.

SHEET TITLE: EXISTING FLOOR PLAN

PLANS AT SCALE NOTED WHEN PRINTED AT 1/4" = 1'-0"
DRAWING TITLE: EXISTING FLOOR PLAN

PROJECT NUMBER: 1908
DATE: 12/18/2019
DRAWN BY: Author

EXISTING CONDITIONS - BY OTHERS / FOR REFERENCE ONLY A2.00

KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK DISPLAY W/ IMPACT RESISTANT GLAZING @ 3" HIGH MAX.
- 04 (N) CASEWORK COUNTER @ 3" HIGH MAX.
- 05 (N) CASEWORK POINT OF SALE STATION
- 06 (N) CASEWORK WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILINGS
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER SHOWROOM OVERFLOW
- 14 QUEUE FOR CUSTOMER PURCHASES
- 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASHIERS
- 20 SECURE RECORD STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNABIS PRODUCT WASTE RECEPTACLES
- 24 (E) DOOR - LOADING AND UNLOADING OF DELIVERIES
- 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 2" X 4" CHAIN LINK CAGE
- 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) WAREHOUSE WHERE DECD
- 28 (N) RAMP OR STAIR W/ RAILS @ 3" AFF, BOTH SIDES, TYP.
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 3/4" AFF, TYP.
- 33 (N) LUMBER FIXTURE OR ACCESSORY, TYP. PER ROOM
- 34 CASEWORK CONSUMPTION BAR
- 35 CASEWORK CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SHEET
- 42 (N) UNMARKED WALL AND SOFFIT W/ BRASS BATTENS
- 43 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 44 (N) SELF ILLUMINATED SIGN
- 45 (N) PLATE METAL SIGNAGE @ CONCEALED STUDS
- 46 (E) WALL PACK LIGHTS
- 47 (N) POST MOUNTED SIGNALS

FINISH LEGEND:

- CX CONCRETE
- EX EPOXY
- FX FABRIC/UPHOLSTERY
- GX GLASS
- TX METAL
- PX PAINT
- STX STONE/SOLID SURFACE
- TX TILE
- WX WOOD
- WCX WALL COVERING

FIRE PROTECTION:
PORTABLE FIRE EXTINGUISHER SHALL BE PROVIDED. SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SECTIONS 904.1-904.10.4-904.10.5.1 IN GROUP A, E, F, H, I, R, 2, R-2.1 OCCUPANCIES.
ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
UNLESS REQUIRED BY TYP. IN SPECIAL HAZARD AREAS, WHERE REQUIRED BY THE CODE OFFICIAL.

LEGEND:

- LIMITED ACCESS AREA
- COMMON AREA
- (E) WOOD FRAMED WALL TO REMAIN
- EXISTING TO BE DEMOLISHED
- (N) 2x4 WOOD FRAMED WALL (FURR ADJACENT WALLS TO ALUMI FINISH WHERE REQ'D)
- SECONDARY BUSINESS

PROJECT:
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, ARCHITECTURE, STRUCTURE, MECHANICAL, ELECTRICAL AND PLUMBING SPECIFICATIONS HEREBY CONSTITUTE THE COMPLETE DESIGN OF THE PROJECT. THE CLIENT SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS.

SHEET TITLE:

FIRST FLOOR PLAN

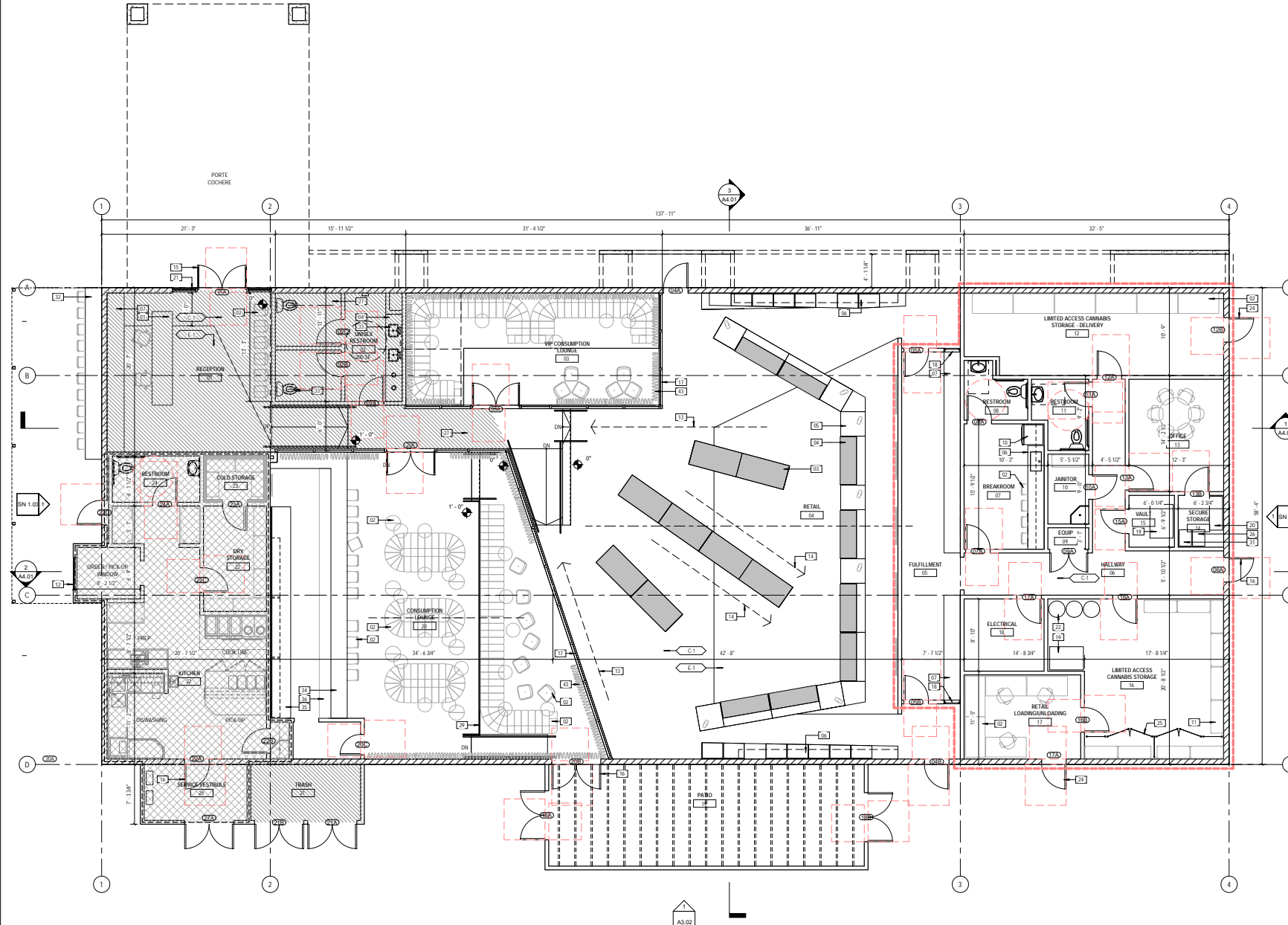
PLANS AT SCALE UNLESS NOTED OTHERWISE

PROJECT NUMBER: 1908

DATE: 12/18/2019

DRAWN BY: Aduha

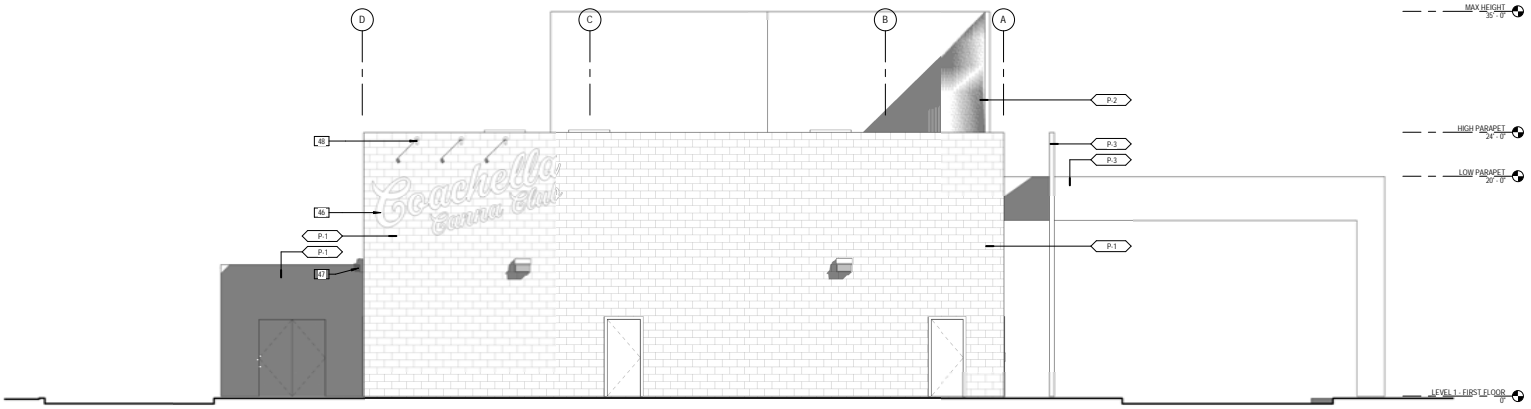
A2.01



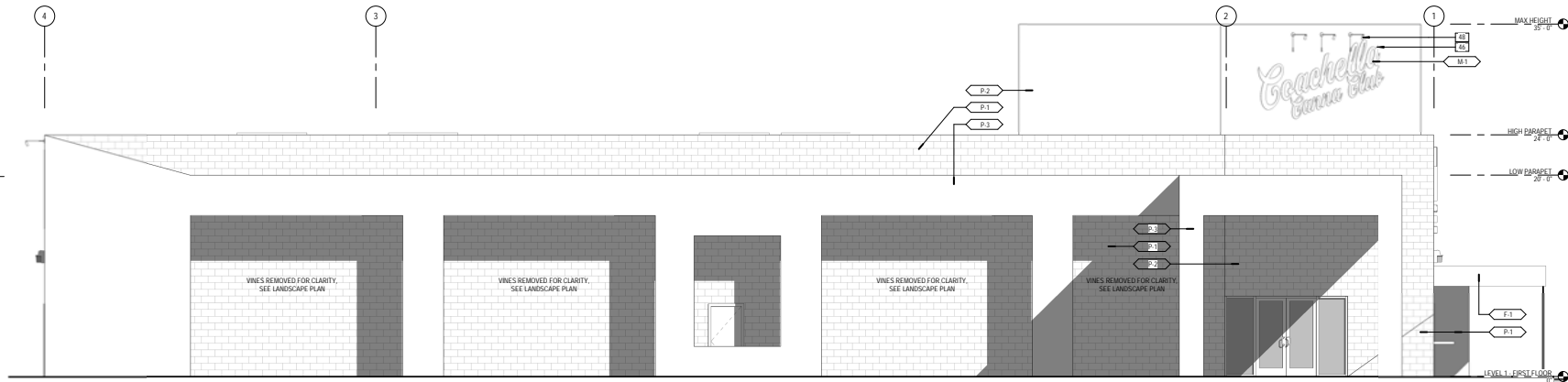
1 LEVEL 1 - FIRST FLOOR
3/16 - 1/10"

KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 34" HIGH MAX.
- 04 (N) CASEWORK, COUNTER @ 34" HIGH MAX.
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK, STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILINGS
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER SHOWROOM OVERFLOW
- 14 QUEUE FOR CUSTOMER PURCHASES
- 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASH SALES
- 20 SECURE RECORD STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNAS PRODUCT WASTE RECEPTACLES
- 24 (E) DOOR - LOADING AND UNLOADING OF COLLUMBS
- 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 3/4" X 6" CHAIR LINK CAGE
- 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) RAISED FLOOR - WHERE RECD
- 28 (N) RAMP OR STAIR W/ RAILS @ 36" AFF, BOTH SIDES, TYP.
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 3/4" AFF, TYP.
- 33 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 34 CASEWORK, CONSUMPTION BAR
- 35 CASEWORK, CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SOFFIT
- 42 (N) MIRROR WALL AND SOFFIT W/ BRASS BATTENS
- 43 (N) SHEER FABRIC CURTAIN
- 44 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 45 (N) SELF-ILLUMINATED SIGN
- 46 (N) PLATE METAL SIGNAGE @ CONCEALED STUDS
- 47 (E) WALL PACK LIGHTS
- 48 (N) POST MOUNTED SIGN LIGHTS



2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- S.T.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING

SHEET NOTES:

1. SEE SHEETS A01-10 FOR MATERIAL SAMPLES
2. SEE SHEETS A01-11, A01-12 AND A01-13 FOR COLOR RENDERED VIEWS
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE

PROJECT:
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, MATERIALS, AND METHODS OF CONSTRUCTION ARE THE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS AT ALL TIMES. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISSEMINATED, DISTRIBUTED, TRANSMITTED OR OTHERWISE MADE PUBLIC IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONSENT OR ACCEPTANCE OF THESE RESTRICTIONS.

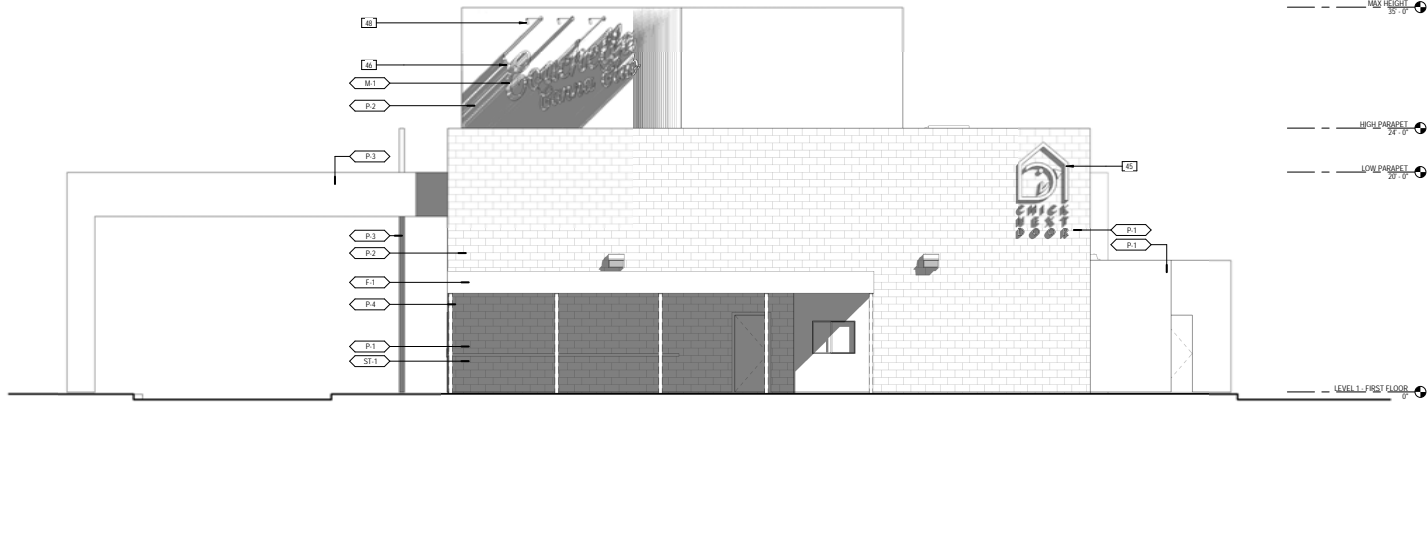
SHEET TITLE:
BUILDING ELEVATIONS

PLANS AT SCALE NOTED WERE PRINTED AT 3/16" = 1'-0"
DATE: 12/18/2019
DRAWN BY: Author

A3.01

KEYNOTE LEGEND - FLOOR PLAN

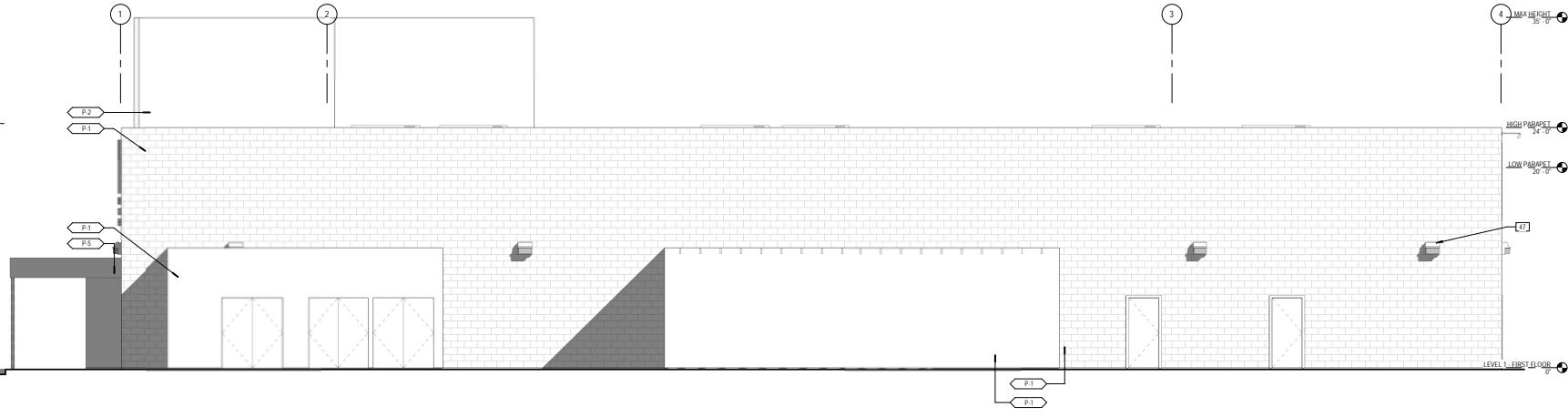
- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3' HIGH MAX.
- 04 (N) CASEWORK, COUNTER @ 3' HIGH MAX.
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK, STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILINGS
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER PURCHASES
- 14 QUEUE FOR CUSTOMER PURCHASES OVERFLOW
- 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASH SAFES
- 20 SECURE RECORDS STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNABIS PRODUCT WASTE RECEPTACLES
- 24 (E) DOOR - LOADING AND UNLOADING OF DELIVERIES
- 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 2 1/2" X 12" CHAIN LINK CAGE
- 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) RAISED FLOOR, W/ WIRE RECO
- 28 (N) RAMP OR STAR W/ RAILS @ 36" AFF, BOTH SIDES, TYP.
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 3/4" AFF, TYP.
- 33 (N) FLUORESCENT FIXTURE OR ACCESSORY, TYP PER ROOM
- 34 CASEWORK, CONSUMPTION BAR
- 35 CASEWORK, CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SOFFIT
- 42 (N) UNBORDERED WALL AND SOFFIT W/ BRASS BATTENS
- 43 (N) SHERY FABRIC CURTAIN
- 44 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 45 (N) SELF ILLUMINATED SIGN
- 46 (N) PLATE METAL SIGNAGE/ CONCEALED STUDS
- 47 (E) WALL PACK LIGHTS
- 48 (N) POST MOUNTED SIGN LIGHTS



2 WEST ELEVATION
316' - 1/8"

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- ST.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING



1 SOUTH ELEVATION
316' - 1/8"

SHEET NOTES:

- 1. SEE SHEETS A0-10 FOR MATERIAL SAMPLES.
- 2. SEE SHEETS A0-11, A0-12 & A0-13 FOR COLOR RENDERED VIEWS.
- 3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE.

PROJECT:
COACHELLA CAN LLC -
APPLICATION

41154 DILLON ROAD,
COACHELLA, CA 92336

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE OWNERS EXCLUSIVE PROPERTY AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS. IT IS HEREBY AGREED THAT THE ARCHITECTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

SHEET TITLE:
BUILDING
ELEVATIONS

PLANS AT SCALE NOTED WERE PRINTED AT 24" X 36" SCALE
DATE: 12/18/2019
DRAWN BY: Author

PROJECT NUMBER: 1908

A3.02

100

KEYNOTES:

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3" HIGH MAX
- 04 (N) CASEWORK, COUNTER @ 34" HIGH MAX
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, STORAGE CABINET
- 07 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILING
- 08 (N) TELEVISION W/ WALL BRACKET
- 09 (N) REFRIGERATOR
- 10 (N) WIRE SHELVING
- 11 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 12 (N) QUEUE FOR CUSTOMER SHOWROOM OVERCROW
- 13 (E) STAIR RIGHT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 14 (E) EMERGENCY EXIT DOOR
- 15 (N) STAIRFRONT WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 16 (N) FIREPROOF CASH SALES
- 17 (N) SECURE RECORD STORAGE
- 18 (N) IMPACT RESISTANT SECURITY GLAZING
- 19 (N) SECURE CANNABIS PRODUCT WASTE RECEPTACLES
- 20 (E) DOOR, LOADING AND UNLOADING OF DELIVERIES
- 21 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 7" DIA 2" CHAIN LINK CAGE
- 22 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 23 (N) RASLED FLOOR WHERE RECD
- 24 (N) RAMP OR STAIR W/ RAILS @36" AFF, BOTH SIDES, TYP
- 25 (N) GUARDRAIL @ 42" AFF
- 26 (N) SERVER
- 27 (N) COUNTERTOP 3/4" AFF, TYP
- 28 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 29 CASEWORK, CONSUMPTION BAR
- 30 CASEWORK, CONSUMPTION DISPLAY
- 31 (E) KITCHEN OR BAR EQUIPMENT
- 32 (E) TRUSS
- 33 (N) LIGHT FIXTURE
- 34 (N) WALL
- 35 (N) STAINED FLYWOOD SOFFIT
- 36 (N) MIRROR WALL AND SOFFIT W/ BRASS BATTENS
- 37 (N) SHEER FABRIC CURTAIN
- 38 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 39 (N) SELF-ILLUMINATED SIGN
- 40 (N) IN-PLATE METAL SIGNAGE/ CONCEALED STUDS
- 41 (E) WALL BACK LIGHTS
- 42 (N) POST MOUNTED SIGN LIGHTS
- 501 (E) CLUBE
- 502 (N) CLUBE CUT, ADD TRUNCATED DOMES WHERE RECD
- 503 (E) STREET LIGHT, TYP
- 504 (E) 12" HIGH MASONRY SITE WALL WITH CHAIN LINK FENCE ABOVE
- 505 (N) BIKE PARKING STALLS
- 506 (N) IN-PLATE W/ DRUG/TOLERANT/ NATIVE PLANTINGS, S.L.D.
- 507 (E) PARKING ASPHALT PARKING LOT
- 508 (E) STANDARD PARKING SPACES WITH STRIPING
- 510 (E) 12" MASONRY TRASH ENCLOSURE WITH METAL GATES
- 511 (E) MONUMENT BUILDING SIGNAGE
- 512 (E) BUILDING ENTRANCE
- 513 (E) PROPERTY ENTRY AND EXIT
- 514 (E) SITE LIGHTING, TYP
- 515 (E) CONCRETE HARDSCAPE
- 516 (E) ROOFTOP MECHANICAL UNIT
- 517 (E) TRUSS/MASONRY PATIO ENCLOSURE
- 518 (E) ACCESSIBLE PARKING DESIGNATION
- 519 (E) ACCESSIBLE PARKING SIGNAGE
- 520 (E) ACCESSIBLE PARKING/PATH STRIPING
- 521 (E) BUILDING SCREEN/WALL
- 522 (E) SIDEWALK
- 523 (E) FENCE
- 524 (E) CONCRETE BOLLARDS AND PAD
- 525 (E) TRANSFORMER
- 526 (E) WHEELSTOP
- 527 (E) UTILITY METERS
- 528 (N) FIRE HYDRANT
- 529 (E) FOUNTAIN
- 530 (N) COUNTERTOP
- 531 (N) FURNITURE
- 532 (N) FABRIC AWNING W/ MASTERS

PROJECT:
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD
COACHELLA, CA 92316

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND OTHER INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS IN THE EVENT OF ANY DISPUTE OR LITIGATION. NO PART THEREOF SHALL BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONSENT TO ACCEPTANCE OF THESE CONDITIONS.

SHEET TITLE:

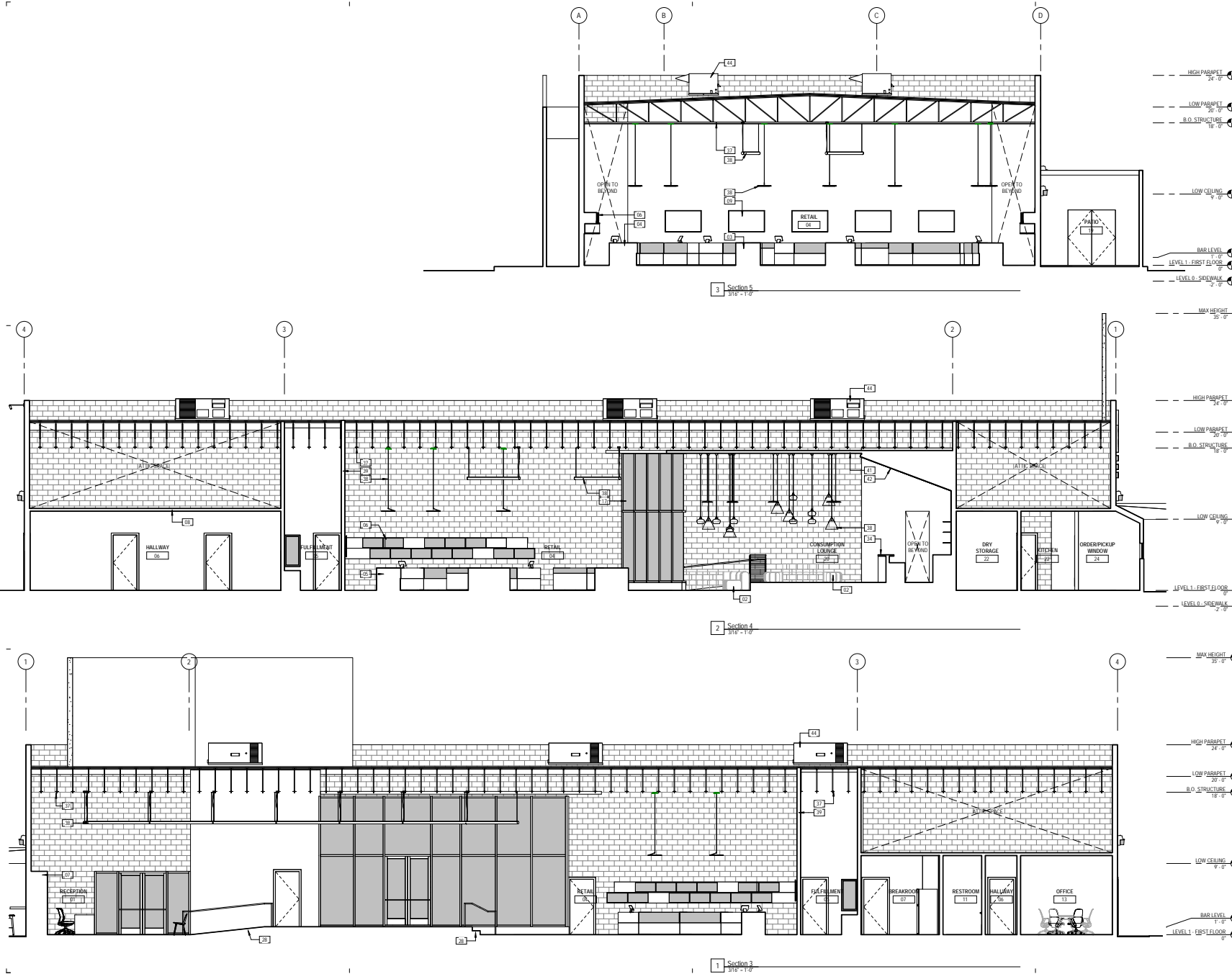
BUILDING SECTIONS

PLANE AND SCALE NOTED WHEN PRINTED AT 24" X 36"
DATE: 12/18/2019
DRAWN BY: Aduan

PROJECT NUMBER: 1908

SHEET TITLE: A4.01

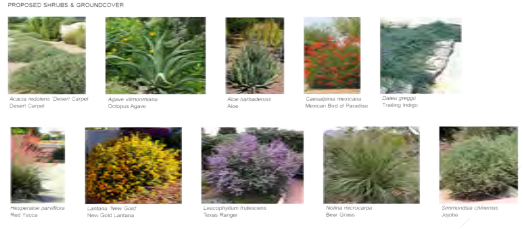
101



3 Section 5
316'-11.0"

2 Section 4
316'-11.0"

1 Section 3
316'-11.0"



PROPOSED TREE LEGEND

SYMBOL	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
	2	24" BOX	BRADYCHTON POPULNEUS	BOTTLE TREE
	4	15 GAL		
	3	24" BOX	KOELREUTERA PANDULATA	GOLDENRAIN TREE
	4	15 GAL		
	4	24" BOX	PHOENIX DACTYLOIDES	DATE PALM
	4	15 GAL	MALE SPECIMEN ONLY	
	6	24" BOX	Rhus LANCEA	AFRICAN SUMAC
	8	15 GAL		
	4	15 GAL	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM

CITY OF COACHELLA LANDSCAPE GUIDELINE REQUIREMENTS

1 TREE PER 30' LINEAR FEET OF BUILDING
360' LINEAR FEET = 12 TREES REQ'D

1 TREE PER 3 PARKING STALLS
\$1 TOTAL PARKING STALLS = 30 TREES REQ'D

TOTAL TREES REQ'D = 42

TOTAL PROPOSED TREES = 46

TOTAL EXISTING TREES TO REMAIN = 11

TOTAL PROPOSED + EXISTING TREES = 46

25% OF REQ'D TREES TO BE 24" BOX = 11
PROPOSED 24" BOX TREES = 11

1/4% MINIMUM OF NET LOT AREA TO BE LANDSCAPED
LOT AREA = 42,194 SQ. FT.
10% = 4,219 SQ. FT.

PROPOSED LANDSCAPED AREA = 11,266 SQ. FT.

PROJECT
COACHELLA CANNABIS
CO. - CONSUMPTION
LOUNGE

40150 DILLON ROAD
COACHELLA, CA 92226

NO. ISSUED/REVISION DATE

THE INFORMATION ON THESE ARCHITECTURAL DRAWINGS IS THE SOLE PROPERTY OF STUDIO REN ARCHITECTURE. NO PART OF THESE ARCHITECTURAL DRAWINGS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STUDIO REN ARCHITECTURE. ANY REPRODUCTION OR TRANSMISSION OF THESE ARCHITECTURAL DRAWINGS WITHOUT THE WRITTEN PERMISSION OF STUDIO REN ARCHITECTURE IS STRICTLY PROHIBITED.

SHEET TITLE
CONCEPTUAL
LANDSCAPE PLAN

NAME OF CLIENT ARCHITECTURE FIRM OR PROJECT
STUDIO REN ARCHITECTURE

PROJECT NUMBER 1833

DATE 12/19/2019

DRAWN BY MRC

1 CONCEPTUAL LANDSCAPE PLAN
1" = 20'

Item 1.

studio ren
ARCHITECTURE

1825 N LOS ROBLES AVENUE
PASADENA, CA 91104
t: 626.798.8707
e: info@studio-ren.com
www.studio-ren.com

meg rushing coffee
landscape architecture & design

4144 S. 5th Street, Suite 200
Los Angeles, CA 90008



PROJECT:
COACHELLA CANNABIS
CO. - CONSUMPTION
LOUNGE

48156 DILLON ROAD,
COACHELLA, CA 92226

NO. ISSUE/REVISION DATE

THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE AND IS NOT TO BE RELEASED TO THE PUBLIC WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

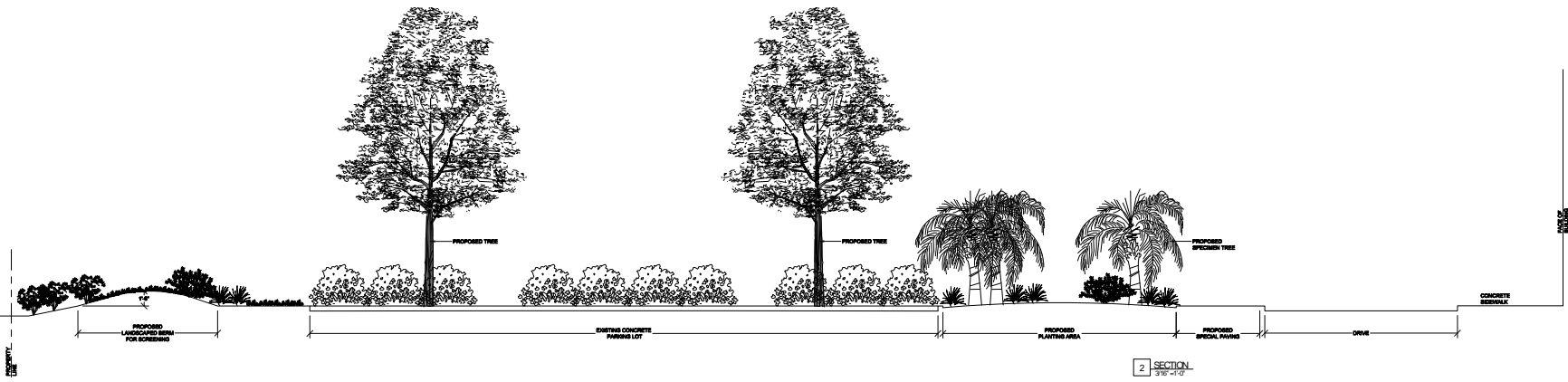
SHEET TITLE:
CONCEPTUAL
LANDSCAPE
SECTIONS

PLANS AND SECTIONS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

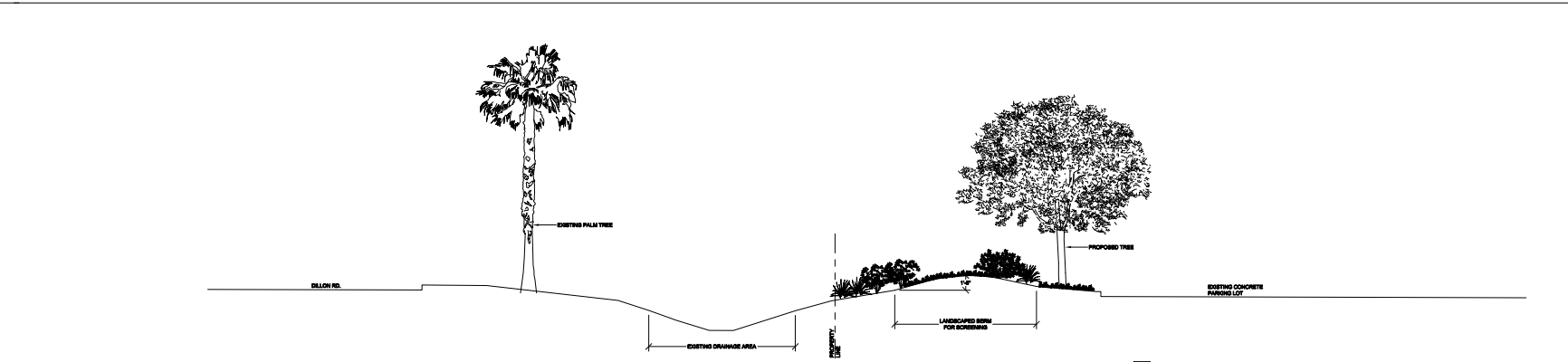
PROJECT NUMBER: 1038
DATE: 12/18/2019
DRAWN BY: MRC

L3.01

103



2 SECTION
3/16" = 1'-0"



1 SECTION
3/16" = 1'-0"

COACHELLA CAN LLC - PRIMARY BUSINESS SIGNAGE

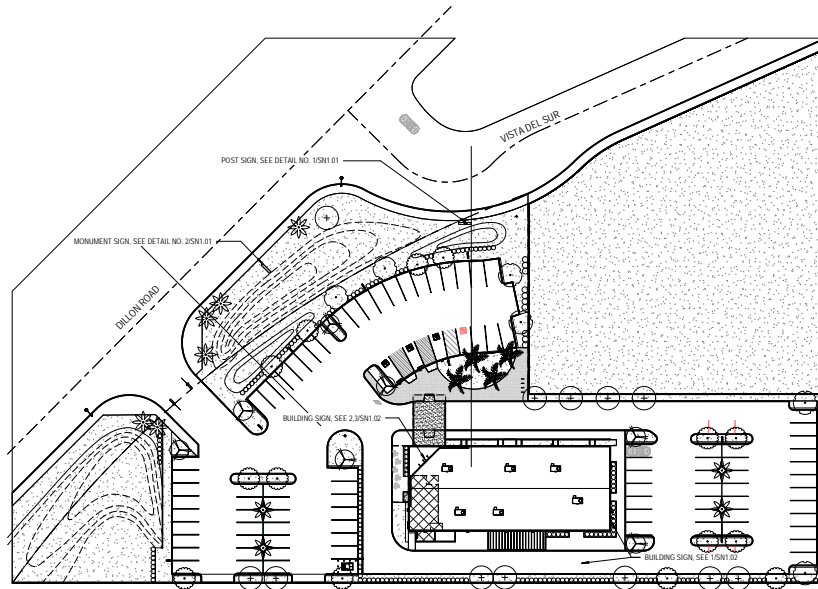
PROJECT DATA:

SCOPE OF WORK:
REPLACE (E) BUILDING SIGNS; REFURBISH (E) MONUMENT SIGN AT DILLON RD; ADD A POST SIGN AT VISTAL DEL SUR

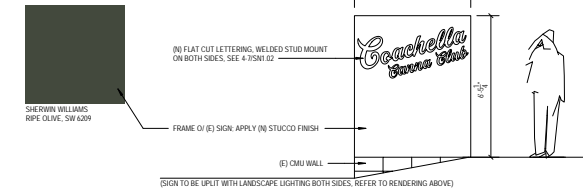
ADDRESS: 46156 DILLON ROAD, COACHELLA, CA 92236
 APT#: 003 102 024
 LOT AREA: 82,729 SF / 1.9 ACRE
 BUILDING AREA: 8,045 SF GROSS
 (E) ZONING: C-G
 (E) ZONING: C-GRC
 (E) OCCUPANCY: A-3
 (N) OCCUPANCY: M-CANNABIS F-F-1 (KITCHEN)
 FLOOR AREA: EXISTING: 8,045 SF (GROSS)
 PROPOSED: 8,045 SF (GROSS)
 CONSTRUCTION TYPE: TYPE V-B
 FIRE PROTECTION: SPRINKLERED, SEE DEFERRED SUBMITTALS BELOW



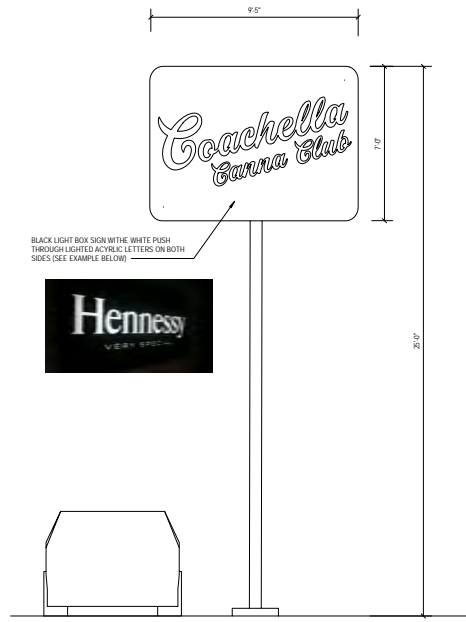
4 EXTERIOR WALL MOUNT SIGN - EAST ELEVATION
12' - 7 1/2"



1 SIGNAGE SITE PLAN
12' - 7 1/2"



2 EXTERIOR SIGN - MONUMENT
18' - 7 1/2"



3 EXTERIOR SIGN - POST
28' - 7 1/2"



Item 1.

studio ren
ARCHITECTURE

1882 N LOS ROBLES AVENUE
PASADENA, CA 91104
P: 323.481.8103
E: INFO@STUDIOREN.COM
WWW.STUDIOREN.COM

OWNER:
WILLIAM, CIRVAL, SR.
503 PACIFIC AVENUE
SOLANO BEACH, CA 90705
P: (415) 518.8443
W: MCGRAW.HILL.COM

TENANT:
COACHELLA CAN LLC
464 COACHELLA CANNA CLUB
47TH BROADWAY SHANNING
9370 ALBUQUERQUE BLVD, SUITE 104
TODDANA, CA 91034
P: (818) 510.4306
W: JARDINERPLACANNABIS.CO.COM

ARCHITECT:
STUDIO REN ARCHITECTURE
47TH BROADWAY SHANNING
1882 N LOS ROBLES AVENUE
PASADENA, CA 91104
P: (818) 730.9595
E: INFO@STUDIOREN.COM
WWW.STUDIOREN.COM

LANDSCAPE ARCHITECT:
MCGRAW HILL LANDSCAPE ARCHITECTURE
4144 34th STREET AVENUE
LOS ANGELES, CA 90045
P: (213) 681.5891
W: MCGRAWHILL.COM

PROJECT:
COACHELLA CAN LLC -
APPLICATION

46156 DILLON ROAD,
COACHELLA, CA 92236

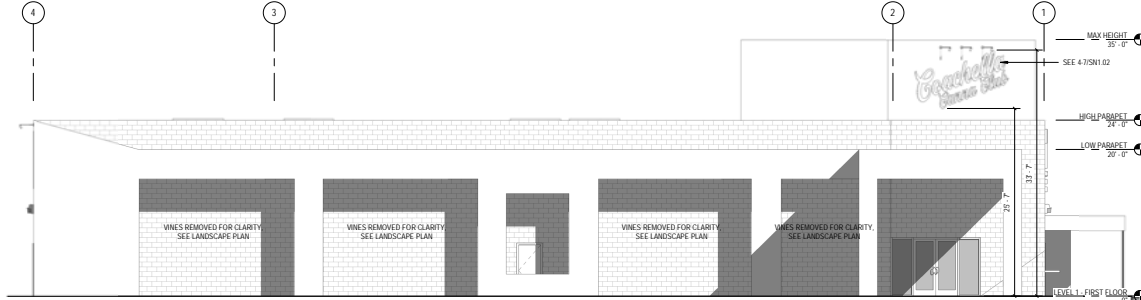
NO.	ISSUE/REVISION	DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE OWNERS UNASSIGNED AND EXCLUSIVE PROPERTY. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISSEMINATED, TRANSMITTED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTURE. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONVICTION OF VIOLATION OF THESE RESTRICTIONS.

SHEET TITLE:
SIGNAGE - SITE PLAN

PLANE AS SCALE NOTED. DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE ALTERNATE DIMENSIONS. DIMENSIONS IN PARENTHESES TAKE PRECEDENCE OVER DIMENSIONS IN FIGURES.
 PROJECT NUMBER: 1908
 DATE: 12/18/2019
 DRAWN BY: Author

SN 1.01

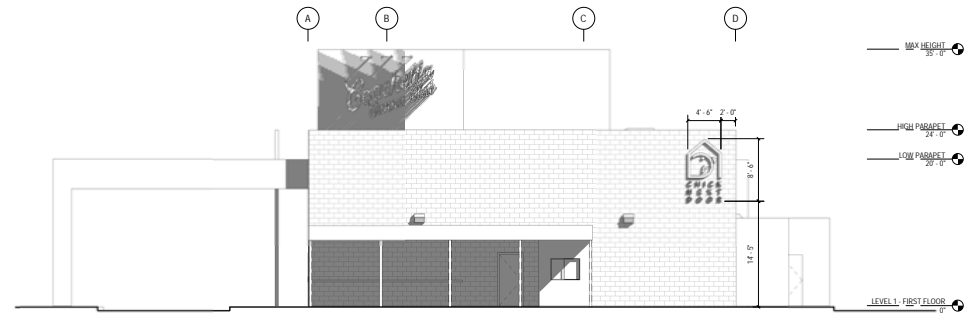


2 SIGNAGE NORTH ELEVATION
1/8" = 1'-0"

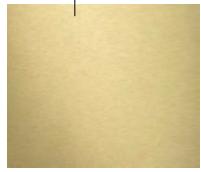
8 PARAPET SIGN OVER ENTRY
1/2" = 1'-0"



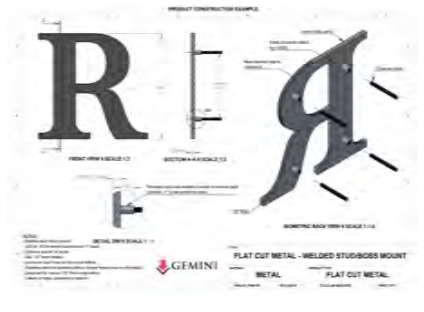
4 EXTERIOR SIGN
1/2" = 1'-0"



3 SIGNAGE WEST ELEVATION
1/8" = 1'-0"



7 BRASS FINISH
1/2" = 1'-0"



5 EXTERIOR STUD MOUNTED LETTERS
1/2" = 1'-0"
FOR REFERENCE ONLY

SPECIFICATIONS

DETAILS:
- 1/2" x 1/2" x 1/2" stud with a 1/2" x 1/2" x 1/2" nut and washer for installation
- 1/2" x 1/2" x 1/2" stud with a 1/2" x 1/2" x 1/2" nut and washer for installation
- 1/2" x 1/2" x 1/2" stud with a 1/2" x 1/2" x 1/2" nut and washer for installation

LED OPTION:
- 1/2" x 1/2" x 1/2" stud with a 1/2" x 1/2" x 1/2" nut and washer for installation
- 1/2" x 1/2" x 1/2" stud with a 1/2" x 1/2" x 1/2" nut and washer for installation
- 1/2" x 1/2" x 1/2" stud with a 1/2" x 1/2" x 1/2" nut and washer for installation

WARRANTY:
- 5 Year Limited Warranty
- 5 Year Limited Warranty
- 5 Year Limited Warranty

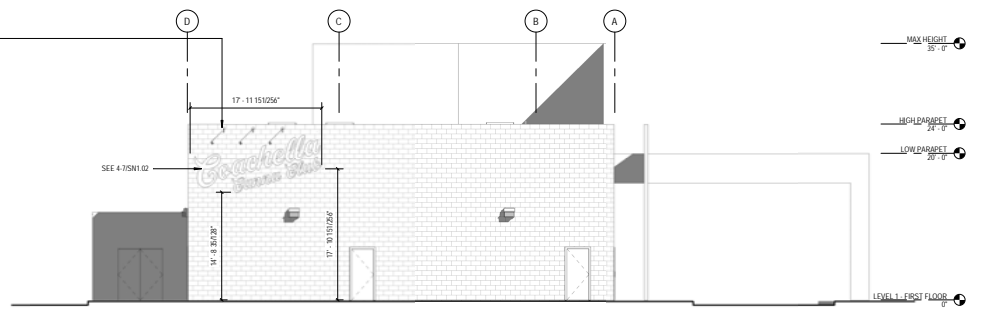
ORDER SPECIFICATION:

PROJECT: _____
APPROVED: _____
NOTE: _____
TYPE: _____

HEVI-LITE, INC.
1710 South Main, Gardena, CA 90247
Tel: (310) 441-8000 Fax: (310) 441-1888
Web: http://www.hevi-lite.com

HL-711-LED

6 EXTERIOR STEM LED STEM LIGHT
1/2" = 1'-0"



1 SIGNAGE EAST ELEVATION
1/8" = 1'-0"

PROJECT:
COACHELLA CAN LLC -
APPLICATION

4156 DILLON ROAD,
COACHELLA, CA 92236
NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE SOLE AND EXCLUSIVE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS IN ALL CIRCUMSTANCES. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISTRIBUTED, TRANSMITTED, OR IN ANY MANNER COMMUNICATED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONVICTION SUBJECT TO ACCEPTANCE OF THESE RESTRICTIONS.

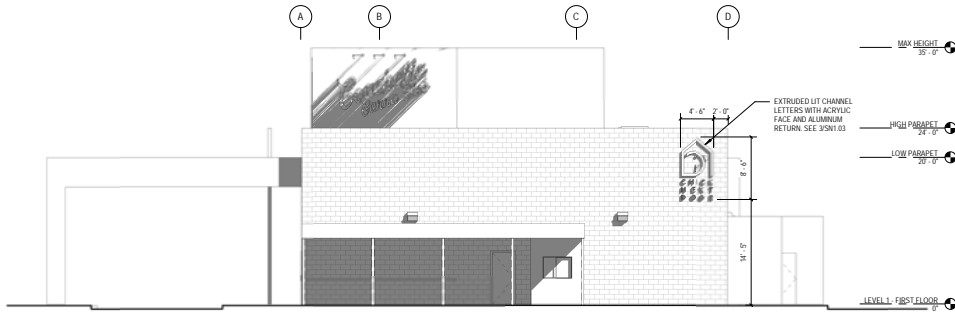
SHEET TITLE:
SIGNAGE -
ELEVATIONS

PLANS AT SCALE UNLESS NOTED OTHERWISE
DATE: 12/18/2019
DRAWN BY: AUSTIN

COACHELLA CAN LLC - SECONDARY BUSINESS SIGNAGE

Item 1.

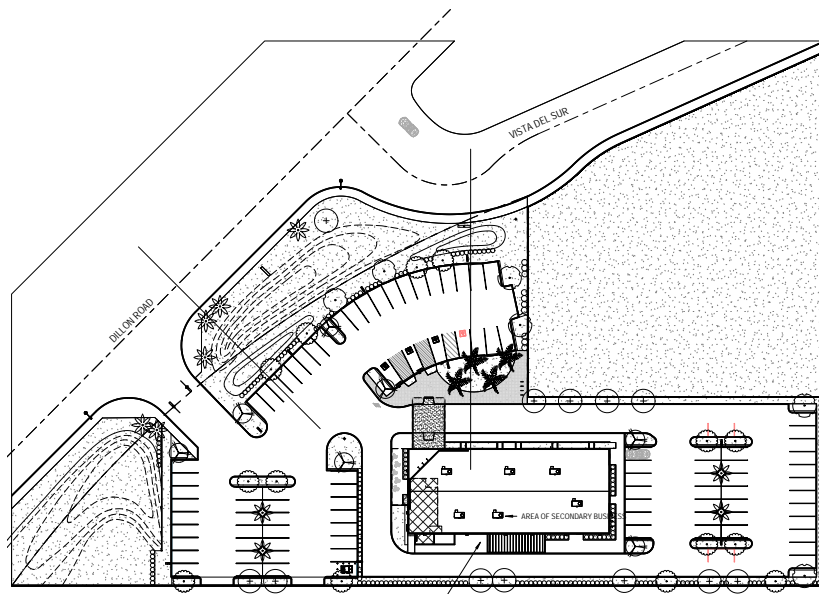
studio ren
ARCHITECTURE
1802 N LOS ROBLES AVENUE
PASADENA, CA 91104
© 2019-2020
E: info@studioren.com
WWW.STUDIOREN.COM



1 SIGNAGE WEST ELEV. - SECONDARY BUSINESS
1/19/19



5 RESTAURANT SIGN WEST ELEVATION
1/19/19



2 SIGNAGE SITE PLAN - SECONDARY BUSINESS
1/19/19



3 SIGNAGE EX. - SECONDARY BUSINESS.
2/19/19



4 LOGO - SECONDARY BUSINESS
2/19/19

PROJECT DATA:

SCOPE OF WORK:
ADD (N) SIGNAGE AT WEST ELEVATION FOR SECONDARY BUSINESS

ADDRESS: 46156 DILLON ROAD, COACHELLA, CA 92236

APN: 600102-024

LOT AREA: 82,729 SF / 1.9 ACRE

BUILDING AREA: 8,045 SF GROSS

SECONDARY BUSINESS AREA: 1200 SF

(I) ZONING: C-G

(J) ZONING: C-G/R/C

(K) OCCUPANCY: A-3

(N) OCCUPANCY: F-1 (KITCHEN)

FLOOR AREA: EXISTING: 8,045 SF (GROSS)
PROPOSED: 8,045 SF (GROSS)

CONSTRUCTION TYPE: TYPE V-B

FIRE PROTECTION: SPRINKLERED, SEE DEFERRED SUBMITTALS BELOW.

PROJECT:
COACHELLA CAN LLC -
APPLICATION

46156 DILLON ROAD,
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, ARCHITECTURE, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE UNPAID INVENTION OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONVICTION OF VIOLATION OF THESE RESTRICTIONS.

SHEET TITLE:
**SIGNAGE -
SECONDARY
BUSINESS**

PLANS AT SCALE UNLESS INDICATED AT SCALE
DATE: 12/18/2019
DRAWN BY: Author

PROJECT NUMBER: 1908

SN 1.03

106

FINISH LEGEND:

- C-X CONCRETE
- E-X EPOXY
- F-X FABRIC/UPHOLSTERY
- G-X GLASS
- M-X METAL
- PA PAINT
- S-X STONE/SOLID SURFACE
- T-X TILE
- W-X WOOD
- WC-X WALL COVERING

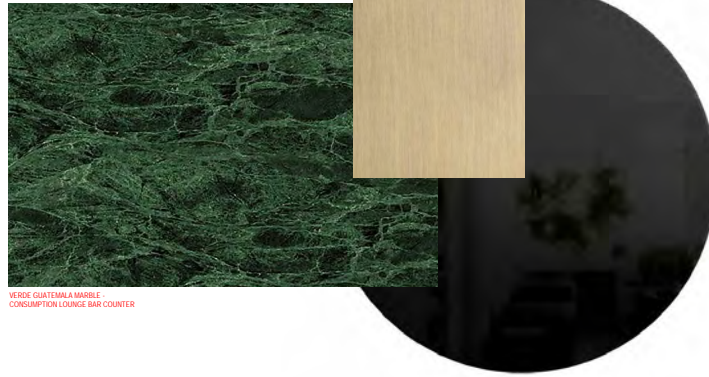
SHEET NOTES:

1. SEE SHEETS A010 FOR MATERIAL SAMPLES.
2. SEE SHEETS A011, A012 AND A013 FOR COLOR RENDERED VIEWS.
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE.

BRUSHED BRASS SIGNAGE AND TRIM - ENTRY / CONSUMPTION LOUNGE / PORTE COCHERE CEILING



BLACK MIRROR ACCENT WALL - CONSUMPTION LOUNGE BAR



BLACK STAINED PLYWOOD PANELING - CONSUMPTION LOUNGE / VIP CONSUMPTION LOUNGE CEILING



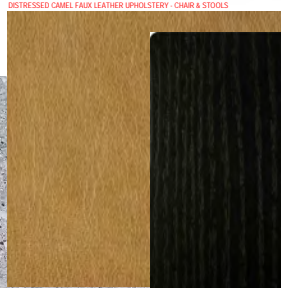
CUSTOM GRAPHIC WALLPAPER - EPOXY FLOORING AND CABINETS AT ENTRY TO MATCH



VEINDE QUATAMA MARBLE - CONSUMPTION LOUNGE BAR COUNTER



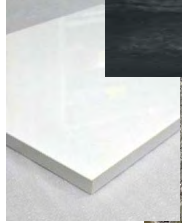
EBONIZED ASH - STOOLS AND SIDE TABLES



PERBED GREEN FAUN LEATHER / UPHOLSTERY - BANQUETTE



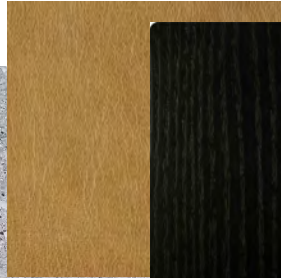
SOLID SURFACE DISPLACE CASE - CAESERSTONE - BLACK TAMPAL



SEMGLOSS WHITE LACQUER CABINETS



DISTRESSED CAMEL FAUN LEATHER UPHOLSTERY - CHAIR & STOOLS

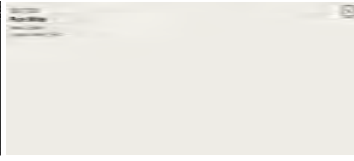


BLACK SHEER CURTAIN

POLISHED AND SEALED CONCRETE STRUCTURAL SLAB



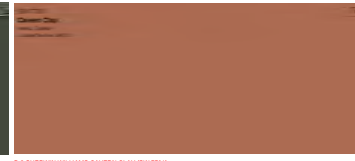
P-5 SHERWIN WILLIAMS TRICORN BLACK (SW 6256)



P-4 SHERWIN WILLIAMS PURE WHITE (SW 7000)



P-3 SHERWIN WILLIAMS RIPE OLIVE (SW 6299)



P-2 SHERWIN WILLIAMS CAVERN CLAY (SW 7703)



P-1 SHERWIN WILLIAMS TOUCH OF SAND (SW 9085)

PROJECT:
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE OWNERS EXCLUSIVE PROPERTY AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, DISSEMINATED, TRANSMITTED OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONSENT TO THE USE OF THIS DRAWING FOR THE PROJECTS SPECIFICALLY IDENTIFIED IN THE PROJECT DESCRIPTIONS.

SHEET TITLE:
MATERIAL BOARD

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"
DATE: 12/18/2019

PROJECT NUMBER: 1908
DRAWN BY: Author

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- ST.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING



VIEW TO ENTRY / RESTAURANT SEATING FROM DRIVE



VIEW TO ENTRY FROM PARKING



VIEW TO BUILDING FROM DRIVEWAY

PROJECT:
COACHELLA CAN LLC -
APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND MATERIALS THEREIN ARE THE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS IN PERPETUITY. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISSEMINATED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONSENT TO THE USE OF THIS DRAWING FOR THE PROJECTS SPECIFICALLY IDENTIFIED HEREIN.

SHEET TITLE:
3D VIEWS EXTERIOR

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36" (1:24)
ELEVATIONS AT SCALE NOTED WHEN PRINTED AT 24"X36" (1:24)
PROJECT NUMBER: 1908
DATE: 12/18/2019
DRAWN BY: Author





VIEW OF NORTH FACADE FROM EAST PARKING



VIEW OF SOUTH AND EAST FACADES FROM SOUTH DRIVE



VIEW WEST FACADE / RESTAURANT SEATING FROM PARKING LOT

PROJECT:
COACHELLA CAN LLC -
APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92236

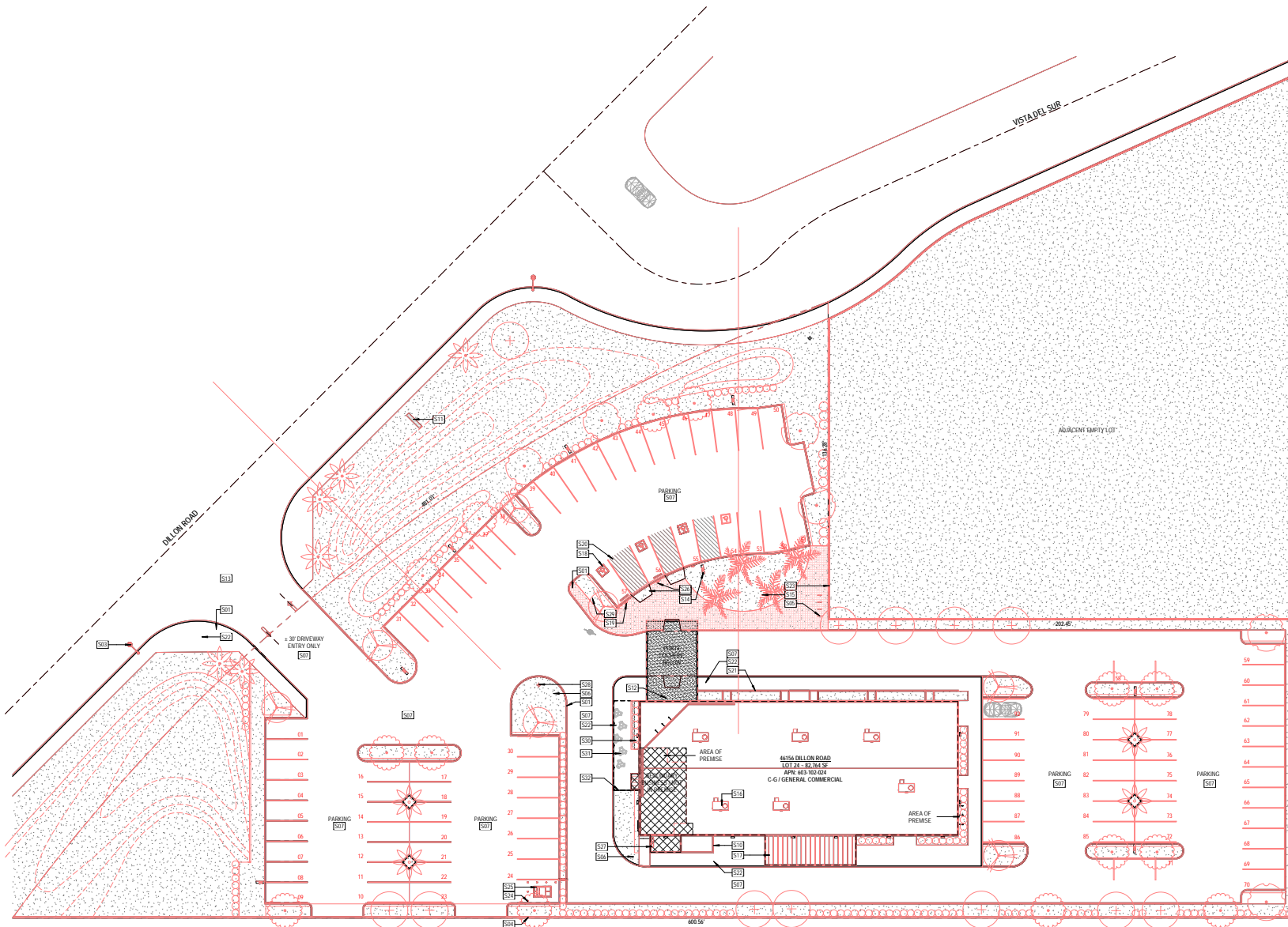
NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, ARCHITECTURE, STRUCTURE,
MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS, AND ALL
OTHER INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF
STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF
STUDIO REN ARCHITECTS IN PERPETUITY. NO PART THEREOF SHALL BE REPRODUCED, COPIED,
DISSEMINATED, TRANSMITTED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF
STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE A VIOLATION
OF THE TERMS OF ACCEPTANCE OF THESE ARCHITECTURE

SHEET TITLE:
3D VIEWS EXTERIOR

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"
ELEVATIONS AT SCALE NOTED WHEN PRINTED AT 24"X36"
PROJECT NUMBER: 1908
DATE: 12/18/2019
DRAWN BY: Author





KEYNOTE LEGEND - SITE PLAN

- S01 (E) CURB
- S02 (N) CURB CUT, ADD TRUNCATED DOMES WHERE REQ'D
- S03 (E) STREET LIGHT, TYP
- S04 (E) 4" OF HIGH MASONRY SITE WALL WITH CHARLINK FENCE ABOVE
- S05 (N) BIKE PARKING STALLS
- S06 (N) PLANTER W/ DROUGHT TOLERANT / NATIVE PLANTINGS, S.I.D.
- S07 (E) PARKING ASPHALT PARKING LOT
- S08 (E) STANDARD PARKING SPACES WITH STRIPING
- S10 (E) 4" OF MASONRY TRASH ENCLOSURE WITH METAL GATES
- S11 (E) MONUMENT BUILDING SIGNAGE
- S12 (N) BUILDING ENTRANCE
- S13 (E) PROPERTY ENTRY AND EXIT
- S14 (E) SITE LIGHTING, TYP.
- S15 (E) CONCRETE HARDSCAPE
- S16 (E) ROOSTOP/MECHANICAL UNIT
- S17 (E) TRELLIS/MASONRY PATIO ENCLOSURE
- S18 (E) ACCESSIBLE PARKING DESIGNATION
- S19 (E) ACCESSIBLE PARKING SIGNAGE
- S20 (E) ACCESSIBLE PARKING PATH STRIPING
- S21 (E) BUILDING SCREEN WALL
- S22 (E) SHERBARK
- S23 (E) FENCE
- S24 (E) CONCRETE BOLLARDS AND PAD
- S25 (E) TRANSFORMER
- S26 (E) WHEELSTOP
- S27 (E) UTILITY METERS
- S28 (N) FIRE HYDRANT
- S29 (E) FOUNTAIN
- S30 (N) COUNTERTOP
- S31 (N) FURNITURE
- S32 (N) FABRIC AWNING W/ MISTERS

SHEET NOTES:

1. SEE LANDSCAPE DRAWINGS FOR PLANTINGS AND TOPOGRAPHY
2. OUTDOOR PARKING AREA LIGHTING SHALL COMPLY WITH SECTION 17.64.220 P.M.C.
3. HOURS OF OPERATION ARE TO BE LISTED AS 7AM TO 10PM DAILY.
4. MAXIMUM AVERAGE ILLUMINATION AT GROUND LEVEL SHALL NOT EXCEED THREE (3) FOOT CANDLES WHEN THE PARKING IS LOCATED WITHIN A NONRESIDENTIAL ZONING DISTRICT, PER 17.64.200.5.
5. OUTDOOR PARKING AREA LIGHTING SHALL NOT EXCEED 18' IN HEIGHT, UNLESS SPECIFICALLY APPROVED BY THE DESIGN COMMISSION OR OTHER APPLICABLE REVIEW AUTHORITY, AND EXCEPT WHEN LOCATED WITHIN CITY PARKS.

LEGEND

- PROPERTY LINE
- - - - - SET BACK
- X-X-X-X-X-X-X-X-X-X- CHARLINK FENCE
- [Hatched Box] ACCESSIBILITY STRIPING
- [Dotted Box] TRUNCATED DOMES

PROJECT:
COACHELLA CAN LLC -
APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92336

NO. ISSUE/REVISION DATE

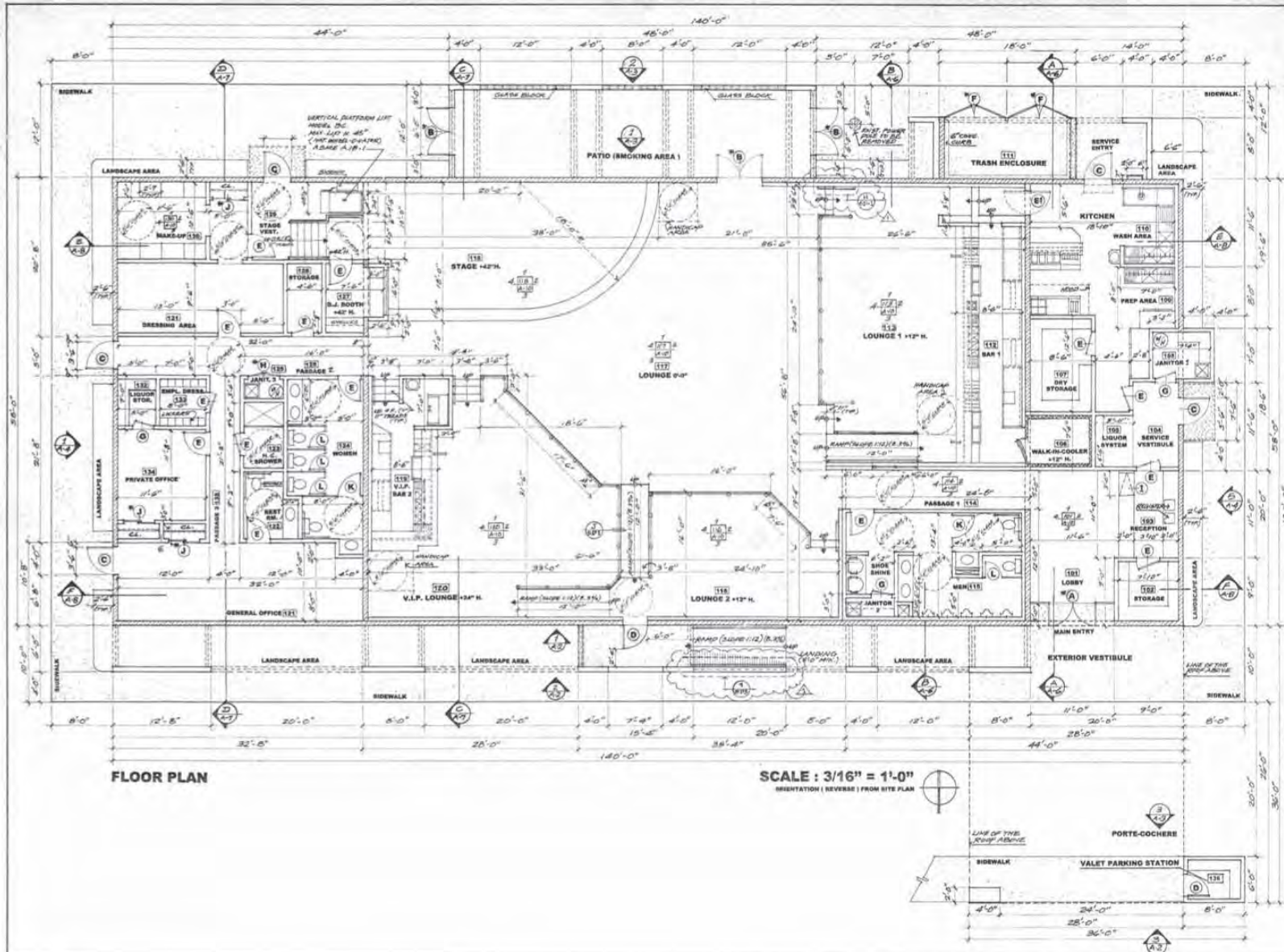
SHEET TITLE:

1. THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE WORK PRODUCT OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL NOT BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ADJACENT OWNER(S) OR ANY PARTY THEREOF SHALL CONSTITUTE CONVICTION SUBJECT TO ACCEPTANCE OF THESE RESTRICTIONS.

SITE PLAN

PLANS AT SCALE NOTED WERE PRINTED AT 24"X36" (1:1200)
PARKING SIGNAGE SHALL BE PRINTED AT 24"X36" (1:1200)
PROJECT NUMBER: 1908
DATE: 12/18/2019
DRAWN BY: BMC

A1.01



FLOOR PLAN

SCALE : 3/16" = 1'-0"
ORIENTATION (REVERSE) FROM SITE PLAN

A M C E
CONSULTING ENGINEERS
REGISTERED PROFESSIONAL ENGINEERS
ARCHITECTS AND INTERIORS DESIGNERS
H. O'CAJIZ & ASSOC.
ARCHITECTS



REVISIONS:

#	DESCRIPTION	DATE
1	FOR COMMENTS	2-28-19

ALL TOTAL DIMENSIONS AND SPECIFICATIONS SHOWN HEREIN ARE THE PROPERTY OF H. O'CAJIZ & ASSOCIATES. THESE DIMENSIONS, SPECIFICATIONS AND NOTES ARE TO BE USED IN CONNECTION WITH THE DRAWINGS AND SHALL BE VOID WITHOUT THEM. ANY CHANGES TO THESE DIMENSIONS, SPECIFICATIONS AND NOTES SHALL BE MADE BY A WRITTEN CHANGE ORDER. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS, SPECIFICATIONS AND NOTES SHOWN HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

SEVENTH HEAVEN GENTLEMEN'S CLUB
AP #2 603-162-024 DILLON RD COACHELLA CA 92236
OWNERS: ROBERT FOSTER / MORGAN S. AZER TEL: (657) 904 9377
FLOOR PLAN

DATE: 02-28-2019
SCALE: 3/16" = 1'-0"
DRAWN: H.O.C.
JOB: 2019-001
SHEET 1
OF 12 SHEETS
A-1

PROJECT: COACHELLA CAN LLC - APPLICATION

4155 DILLON ROAD, COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS AND NOTES ARE THE PROPERTY OF H. O'CAJIZ & ASSOCIATES. THESE DIMENSIONS, SPECIFICATIONS AND NOTES ARE TO BE USED IN CONNECTION WITH THE DRAWINGS AND SHALL BE VOID WITHOUT THEM. ANY CHANGES TO THESE DIMENSIONS, SPECIFICATIONS AND NOTES SHALL BE MADE BY A WRITTEN CHANGE ORDER. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS, SPECIFICATIONS AND NOTES SHOWN HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

EXISTING FLOOR PLAN

PROJECT NUMBER: 1278/2019
DATE: 12/78/2019
DRAWN BY: Author

EXISTING CONDITIONS - BY OTHERS / FOR REFERENCE ONLY A2.00

KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
02 (N) FURNITURE
03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3" HIGH MAX.
04 (N) CASEWORK, COUNTER @ 3" HIGH MAX.
05 (N) CASEWORK, POINT OF SALE STATION
06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
07 (N) CASEWORK, STORAGE CABINET
08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILING
09 (N) TELEVISION W/ WALL BRACKET
10 (N) REFRIGERATOR
11 (N) WIRE SHELVING
12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
13 QUEUE FOR CUSTOMER SHOWROOM OVERFLOW
14 QUEUE FOR CUSTOMER PURCHASES
15 (E) STOREFRONT W/ ENTRY DOOR, CUSTOMER ENTRY AND EXIT
16 (E) EMERGENCY EXIT DOOR
17 (N) STOREFRONT WINDOW
18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
19 FIREPROOF CASH SALES
20 SECURE RECORD STORAGE
21 (N) IMPACT RESISTANT SECURITY GLAZING
22 SECURE CANNABIS PRODUCT WASTE RECEPTACLES
24 (E) DOOR, LOADING AND UNLOADING OF DELIVERIES
25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 2" X 4" CHAIN LINK CAGE
26 INDUSTRIAL SECURITY CAMERA SECURITY SYSTEM
27 (N) BASED FLOOR, WHERE DECD
28 (N) RAMP OR STAIR W/ RAILS @ 30" AFF, BOTH SIDES, TYP.
29 (N) COUNTER @ 42" AFF
31 SERVER
32 (N) COUNTER @ 34" AFF, TYP.
33 (N) COUNTER, OFFICE ACCESSORY, TYP. PER ROOM
34 CASEWORK, CONSUMPTION BAR
35 CASEWORK, CONSUMPTION DISPLAY
36 (E) KITCHEN OR BAR EQUIPMENT
37 (E) TRUSS
38 (N) LIGHT FIXTURE
39 (N) WALL
40 (N) STAINED PLYWOOD SOFFIT
41 (N) MIRROR/WALL AND SOFFIT W/ BRASS BATTENS
42 (N) SHEER FABRIC CURTAIN
43 (E) POFTOP MECHANICAL UNIT TO REMAIN
44 (N) SELF ILLUMINATED SIGN
45 (N) PLATE METAL SIGNAGE @ CONCEALED STUDS
47 (E) WALL PACK LIGHTS
48 (N) POST MOUNTED SIGNLIGHTS

FINISH LEGEND

- CX CONCRETE
EX EPOXY
FX FABRIC/UPHOLSTERY
GX GLASS
HX METAL
PX PAINT
SX STONE/SOLID SURFACE
TX TILE
WX WOOD
WCX WALL COVERING

FIRE PROTECTION: PORTABLE FIRE EXTINGUISHER SHALL BE PROVIDED... IN EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION...

LEGEND

- LIMITED ACCESS AREA
COMMON AREA
(E) WOOD FRAMED WALL TO REMAIN
EXISTING TO BE DEMOLISHED
(N) 2x4 WOOD FRAMED WALL (FURR ADJACENT WALLS TO ALIGH FINISH WHERE REQ'D)
SECONDARY BUSINESS

PROJECT: COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD, COACHELLA, CA 92316

NO. ISSUE/REVISION DATE

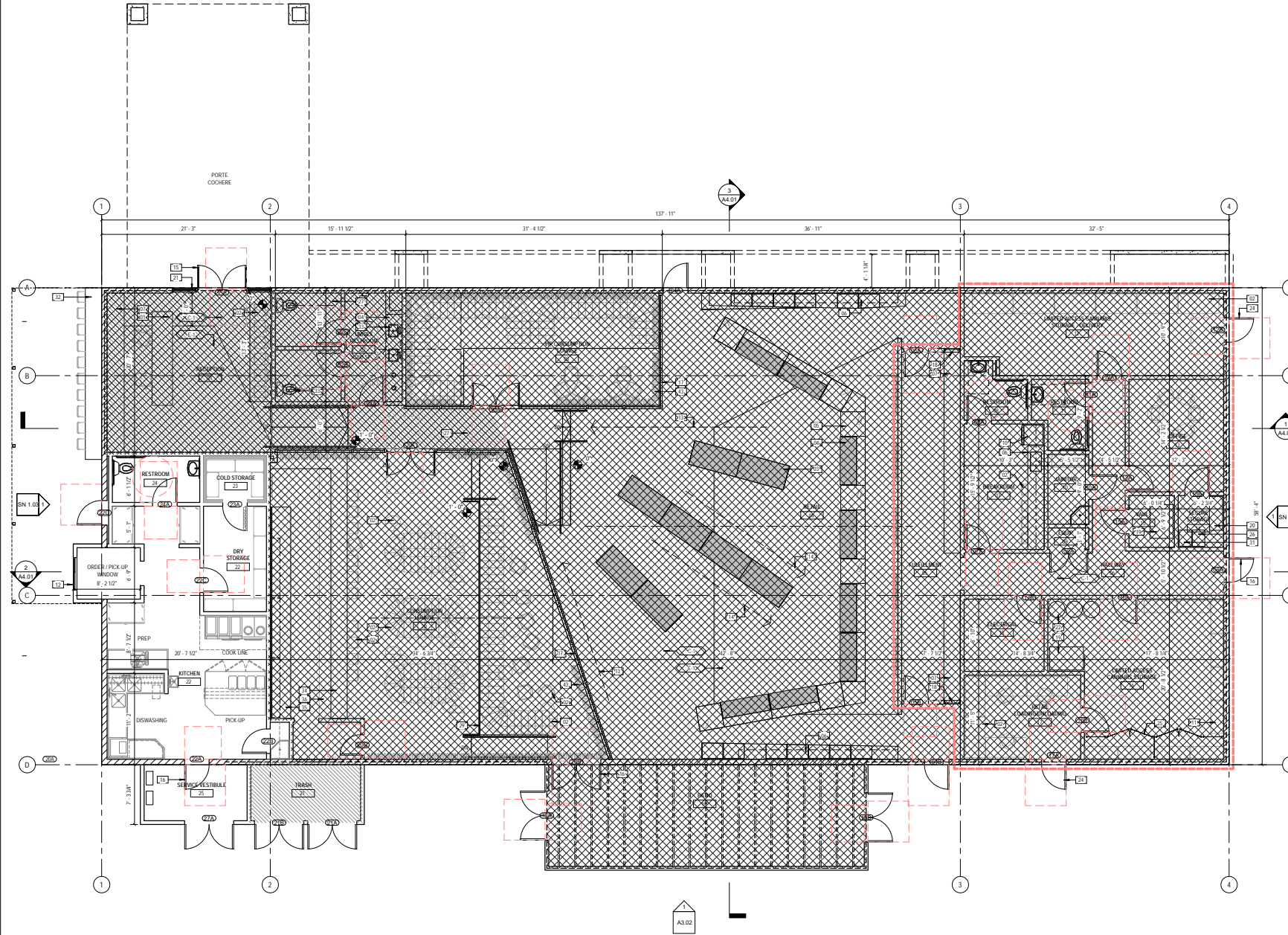
THIS DRAWING AND THE ORIGINAL INSTRUMENTS, SPECIFICATIONS, AND ALL OTHER INSTRUMENTS... SHALL BE THE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL NOT BE REPRODUCED, COPIED, OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS.

SHEET TITLE

FIRST FLOOR PLAN

PROJECT NUMBER: 1908
DATE: 12/18/2019
DRAWN BY: ADR

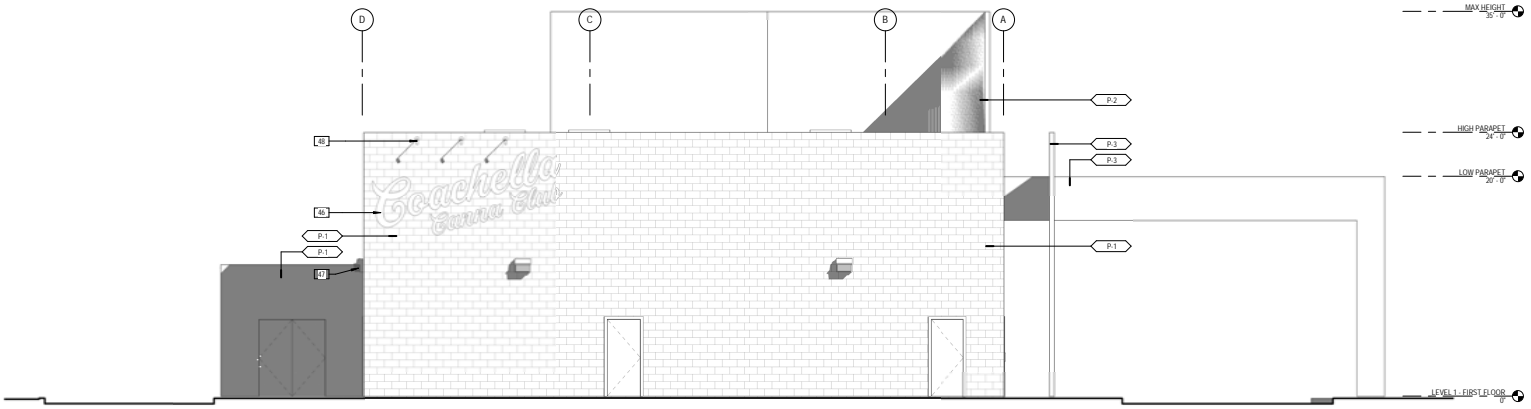
A2.01



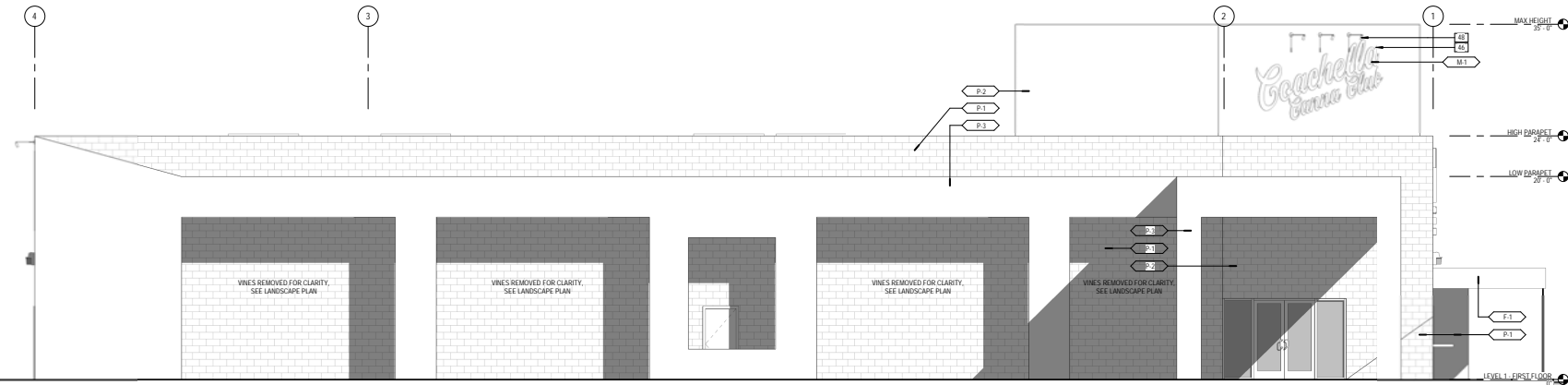
1 LEVEL 1 - FIRST FLOOR 316'-11"

KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 34" HIGH MAX.
- 04 (N) CASEWORK, COUNTER @ 34" HIGH MAX.
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK, STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILINGS
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER SHOWROOM OVERFLOW
- 14 QUEUE FOR CUSTOMER PURCHASES
- 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASH SALES
- 20 SECURE RECORD STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNAS/PRODUCT WASTE RECEPTACLES
- 24 (E) DOOR - LOADING AND UNLOADING OF COLLUMBS
- 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 3/4" X 6" CHAIR/LINK CAGE
- 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) RAISED FLOOR - WHERE RECD
- 28 (N) RAMP OR STAIR W/ RAILS @ 36" AFF, BOTH SIDES, TYP.
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 3/4" AFF, TYP.
- 33 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 34 CASEWORK, CONSUMPTION BAR
- 35 CASEWORK, CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SOFFIT
- 42 (N) MIRROR/WALL AND SOFFIT W/ BRASS BATTENS
- 43 (N) SHEER FABRIC CURTAIN
- 44 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 45 (N) SELF-ILLUMINATED SIGN
- 46 (N) PLATE METAL SIGNAGE/CONCEALED STUDS
- 47 (E) WALL PACK LIGHTS
- 48 (N) POST MOUNTED SIGN LIGHTS



2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- S.T.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING

SHEET NOTES:

1. SEE SHEETS A01-10 FOR MATERIAL SAMPLES
2. SEE SHEETS A01-11, A01-12 AND A01-13 FOR COLOR RENDERED VIEWS
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE

PROJECT:
COACHELLA CANALS LLC - APPLICATION

4154 DILLON ROAD
COACHELLA, CA 92336

NO.	ISSUE/REVISION	DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, MATERIALS, AND METHODS OF CONSTRUCTION ARE THE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS AT ALL TIMES. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISSEMINATED, DISTRIBUTED, TRANSMITTED OR OTHERWISE MADE PUBLIC IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONVICTION OF VIOLATION OF THESE RESTRICTIONS.

SHEET TITLE:
BUILDING ELEVATIONS

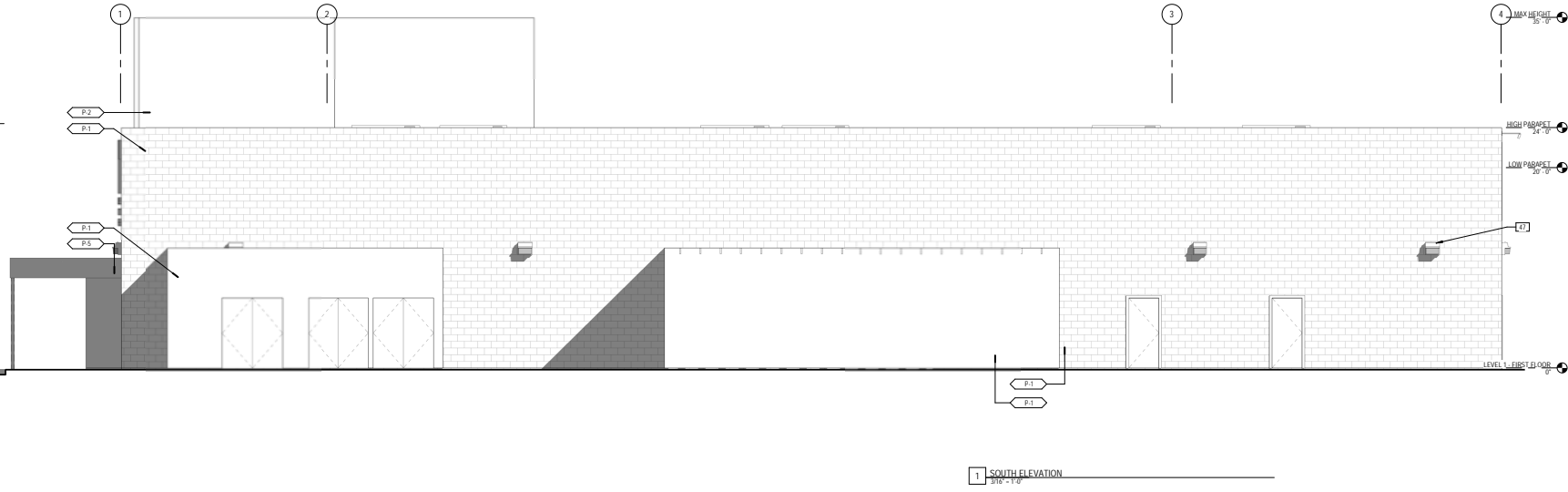
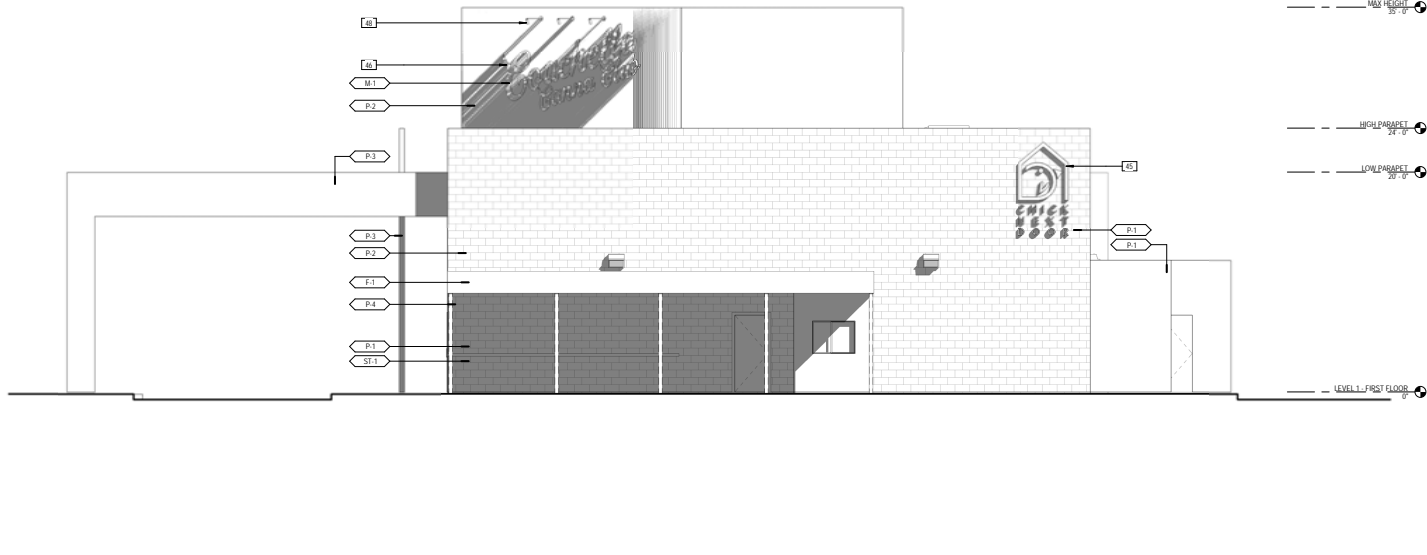
PLANS AT SCALE NOTED WERE PRINTED AT 3/16" = 1'-0"
DATE: 12/18/2019
DRAWN BY: Author

PROJECT NUMBER: 1908

A3.01

KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3'4" HIGH MAX
- 04 (N) CASEWORK, COUNTER @ 3'4" HIGH MAX
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK, STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILINGS
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER PURCHASES
- 14 QUEUE FOR CUSTOMER PURCHASES OVERFLOW
- 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASH SAFES
- 20 SECURE RECORDS STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNABIS PRODUCT WASTE RECEIPT RAILS
- 24 (E) DOOR - LOADING AND UNLOADING OF DELIVERIES
- 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 2 1/2" X 12" CHAIN LINK CAGE
- 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) RAISED FLOOR, W/ WIRE RECO
- 28 (N) RAMP OR STAR W/ RAILS @ 36" AFF, BOTH SIDES, TYP.
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 3/4" AFF, TYP.
- 33 (N) FLUORESCENT FIXTURE OR ACCESSORY, TYP PER ROOM
- 34 CASEWORK, CONSUMPTION BAR
- 35 CASEWORK, CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SOFFIT
- 42 (N) UNBORDERED WALL AND SOFFIT W/ BRASS BATTENS
- 43 (N) SHERY FABRIC CURTAIN
- 44 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 45 (N) SELF ILLUMINATED SIGN
- 46 (N) PLATE METAL SIGNAGE/ CONCEALED STUDS
- 47 (E) WALL PACK LIGHTS
- 48 (N) POST MOUNTED SIGN LIGHTS



FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- ST.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING

SHEET NOTES:

- 1. SEE SHEETS A0-10 FOR MATERIAL SAMPLES.
- 2. SEE SHEETS A0-11, A0-12 & A0-13 FOR COLOR RENDERED VIEWS.
- 3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE.

PROJECT:
COACHELLA CAN LLC - APPLICATION

41154 DILLON ROAD
COACHELLA, CA 92316

NO.	ISSUE/REVISION	DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE OWNERS' SOLE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS IN ALL CIRCUMSTANCES. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISTRIBUTED, TRANSMITTED, OR OTHERWISE MADE PUBLIC IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONVICTION OF VIOLATION OF THESE RESTRICTIONS.

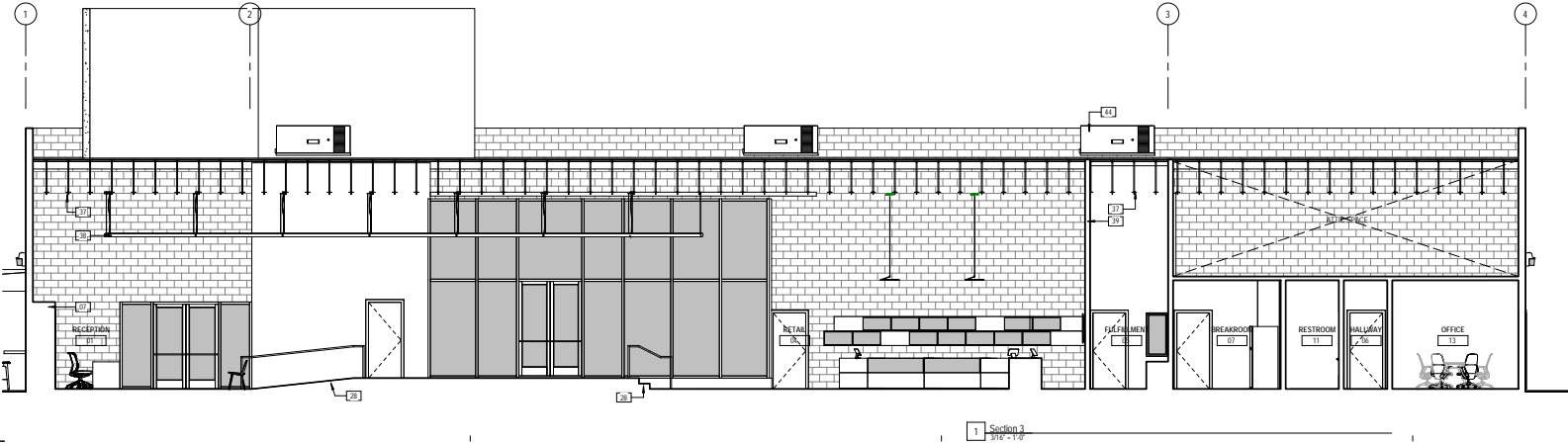
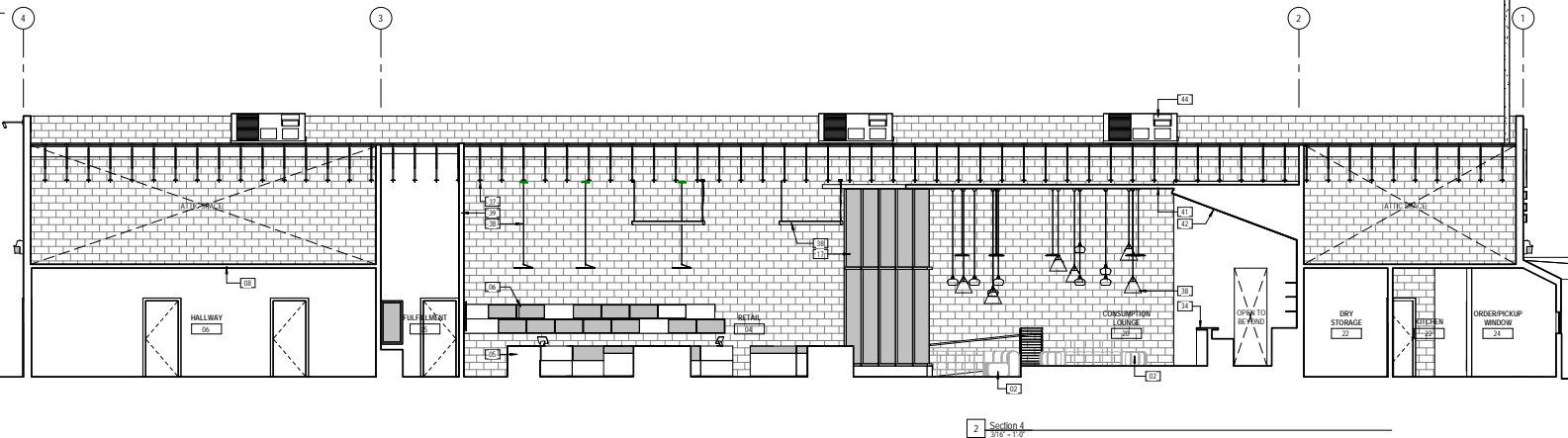
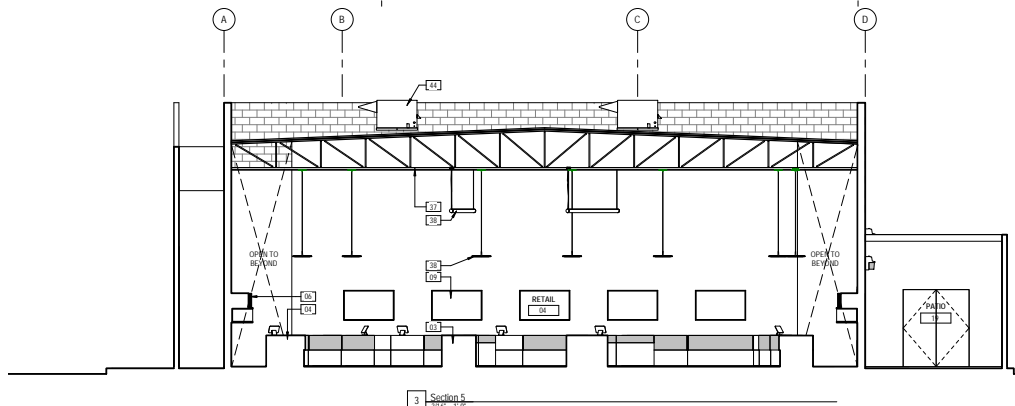
SHEET TITLE:
BUILDING ELEVATIONS

PLANS AT SCALE NOTED WERE PRINTED AT 24" X 36" (1:12)
DATE: 12/18/2019
DRAWN BY: Author

A3.02

KEYNOTES:

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3" HIGH MAX
- 04 (N) CASEWORK, COUNTER @ 3" HIGH MAX
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, STORAGE CABINET
- 07 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILING
- 08 (N) TELEVISION W/ WALL BRACKET
- 09 (N) REFRIGERATOR
- 10 (N) WIRE SHELVING
- 11 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 12 (N) QUEUE FOR CUSTOMER SHOWROOM OVERFLOW
- 13 (E) FOR CUSTOMER PURCHASES
- 14 (E) STOREROOM W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 15 (E) EMERGENCY EXIT DOOR
- 16 (N) STOREFRONT WINDOW
- 17 (N) PASS-THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 18 (N) FIREPROOF CASH SALES
- 19 (N) SECURE RECORD STORAGE
- 20 (N) IMPACT RESISTANT SECURITY GLAZING
- 21 (N) SECURE CANNABIS PRODUCT WASTE RECEPTACLES
- 22 (E) DOOR, LOADING AND UNLOADING OF DELIVERIES
- 23 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 7" DIA. OF CHAIN LINK CAGE
- 24 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 25 (N) RASLED FLOOR, WHERE RECD
- 26 (N) RAMP OR STAIR W/ RAILS @36" AFF, BOTH SIDES, TYP
- 27 (N) GUARDRAIL @ 42" AFF
- 28 (N) SERVER
- 29 (N) COUNTERTOP 3/4" AFF, TYP
- 30 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 31 CASEWORK, CONSUMPTION BAR
- 32 CASEWORK, CONSUMPTION DISPLAY
- 33 (E) KITCHEN OR BAR EQUIPMENT
- 34 (E) TRUSS
- 35 (N) LIGHT FIXTURE
- 36 (N) WALL
- 37 (N) STAINED PLYWOOD SOFFIT
- 38 (N) MIRROR WALL AND SOFFIT W/ BRASS BATTENS
- 39 (N) SHEER FABRIC CURTAIN
- 40 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 41 (N) SELF-ILLUMINATED SIGN
- 42 (N) IN-PLATE METAL SIGNAGE/ CONCEALED STUDS
- 43 (E) WALL PACK LIGHTS
- 44 (N) POST MOUNTED SIGN LIGHTS
- 501 (E) CLUBE
- 502 (N) CLUBE CUT, ADD TRUNCATED DOMES WHERE RECD.
- 503 (E) STREET LIGHT, TYP
- 504 (E) 1/2" HIGH MASONRY SITE WALL WITH CHAIN LINK FENCE ABOVE
- 505 (N) BIKE PARKING STALLS
- 506 (N) IN PLANTER W/ DROUGHT TOLERANT/ NATIVE PLANTINGS, S.L.D.
- 507 (E) PARKING ASPHALT PARKING LOT
- 508 (E) STANDARD PARKING SPACES WITH STRIPING
- 510 (E) 1/2" MASONRY TRASH ENCLOSURE WITH METAL GATES
- 511 (E) MONUMENT BUILDING SIGNAGE
- 512 (E) BUILDING ENTRANCE
- 513 (E) PROPERTY ENTRY AND EXIT
- 514 (E) SITE LIGHTING, TYP
- 515 (E) CONCRETE HARDSCAPE
- 516 (E) ROOFTOP MECHANICAL UNIT
- 517 (E) TRILUMES MASONRY PATIO ENCLOSURE
- 518 (E) ACCESSIBLE PARKING DESIGNATION
- 519 (E) ACCESSIBLE PARKING SIGNAGE
- 520 (E) ACCESSIBLE PARKING PATH STRIPING
- 521 (E) BUILDING SCREEN WALL
- 522 (E) SIDEWALK
- 523 (E) FENCE
- 524 (E) CONCRETE BOLLARDS AND PAD
- 525 (E) TRANSFORMER
- 526 (E) WHEELSTOP
- 527 (E) UTILITY METERS
- 528 (N) FIRE HYDRANT
- 529 (E) FOUNTAIN
- 530 (N) COUNTERTOP
- 531 (N) FURNITURE
- 532 (N) FABRIC AWNING W/ METERS



PROJECT:
COACHELLA CAN LLC -
APPLICATION

4154 DILLON ROAD,
COACHELLA, CA 92316

NO. ISSUE/REVISION DATE

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STUDIO REN ARCHITECTS AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTS IN ALL CIRCUMSTANCES. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISSEMINATED, DISTRIBUTED, TRANSMITTED OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF DOES NOT CONSTITUTE CONSENT OR ACCEPTANCE OF THESE REPRESENTATIONS.

SHEET TITLE:

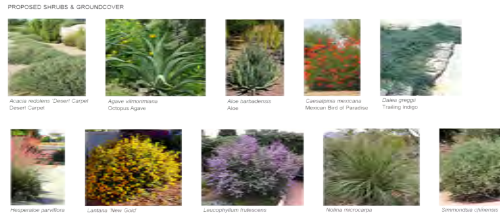
BUILDING SECTIONS

PLANS AT SCALE NOTED WERE PRINTED AT 3/4" = 1'-0"
DATE: 12/18/2019
DRAWN BY: Aduan

A4.01



PROPOSED TREES
Bottle Tree
Goldenrain Tree
Date Palm
African Sumac
Mexican Fan Palm



PROPOSED SHRUBS & GROUNDCOVER
Dwarf Carpet
Golden Agave
Aloe Vera
Mexican Bird of Paradise
Dwarf Yucca
Red Yucca
New Gold Lantana
Lavender
Bear Grass
Jadeite



PROPOSED TREE LEGEND

SYMBOL	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
	2	24" BOX	BRADYCHTON POPULNEUS	BOTTLE TREE
	4	15 GAL		
	3	24" BOX	KOELREUTERA PANICULATA	GOLDENRAIN TREE
	4	15 GAL		
	4	24" BOX	PHOENIX DACTYLOFEROUS	DATE PALM
	4	15 GAL	MALE SPECIMEN ONLY	
	6	24" BOX	Rhus LANCEA	AFRICAN SUMAC
	8	15 GAL		
	4	15 GAL	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM

CITY OF COACHELLA LANDSCAPE GUIDELINE REQUIREMENTS
 1 TREE PER 30' LINEAR FEET OF BUILDING
 360' LINEAR FEET = 12 TREES REQ'D
 3 TREES PER PARKING STALLS
 \$1 TOTAL PARKING STALLS = 30 TREES REQ'D
 TOTAL TREES REQ'D = 42
 TOTAL PROPOSED TREES = 46
 TOTAL EXISTING TREES TO REMAIN = 11
 TOTAL PROPOSED + EXISTING TREES = 46
 25% OF REQ'D TREES TO BE 24" BOX = 11
 PROPOSED 24" BOX TREES = 11
 1/4" MINIMUM OF NET LOT AREA TO BE LANDSCAPED
 LOT AREA = 42,194 SQ. FT.
 1/4" = 12,412 SQ. FT.
 PROPOSED LANDSCAPED AREA = 11,206 SQ. FT.

PROJECT
COACHELLA CANNABIS
CO. - CONSUMPTION
LOUNGE

40150 DILLON ROAD
COACHELLA, CA 92226

NO. ISSUEREVISION DATE

THIS DRAWING AND THE RELATED ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SPECIALTIES DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE THE PROPERTY OF STUDIO REN ARCHITECTURE. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF ANY PART OF THIS DRAWING SHALL BE CONSIDERED TO BE A VIOLATION OF FEDERAL AND STATE LAWS.

SHEET TITLE
CONCEPTUAL
LANDSCAPE PLAN

NAME OF CLIENT ARCHITECT FIRM OR PROJECT
STUDIO REN ARCHITECTURE
PROJECT NUMBER 1833
DATE 12/19/2019
DRAWN BY MRC

1 CONCEPTUAL LANDSCAPE PLAN
1" = 20'

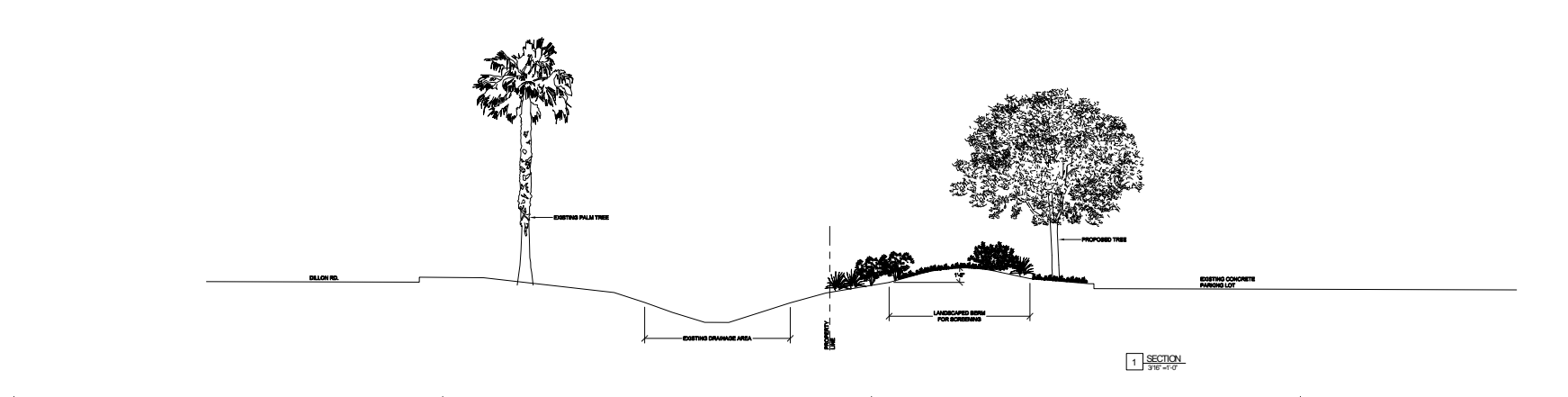
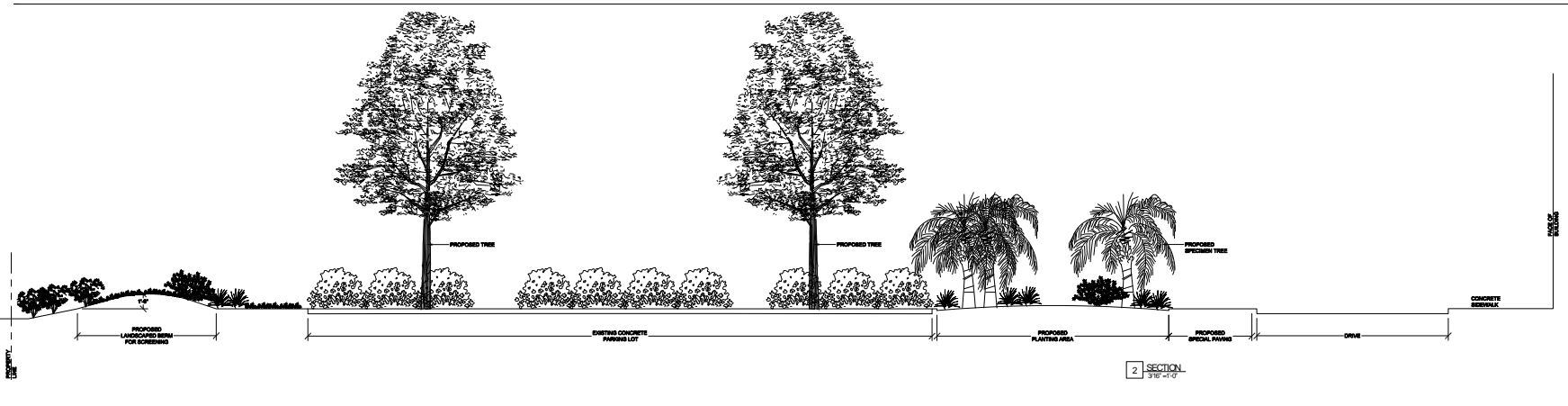
Item 1.

studio ren
ARCHITECTURE

1820 N LOS ROBLES AVENUE
PASADENA, CA 91104
P: 626.799.8707
S: 610.254.6000
WWW.STUDIOREN.COM

meg rushing coffee
landscape architecture & design

4144 S. 5th Street, Suite 200
Los Angeles, CA 90008
310.307.0871
MRC@MEGRUSHING.COM



PROJECT:
COACHELLA CANNABIS
CO. - CONSUMPTION
LOUNGE

48156 DILLON ROAD,
COACHELLA, CA 92226

NO. ISSUE/REVISION DATE

THE INFORMATION HEREON IS BASED ON THE ASSUMPTIONS, SPECIFICATIONS, AND CONDITIONS SET FORTH IN THE CONTRACT DOCUMENTS AND THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT AND DESIGNER SHALL REMAIN THE RESPONSIBLE PARTY FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT AND DESIGNER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF ANY ELEMENTS OF THE PROJECT OR FOR THE PERFORMANCE OF ANY CONTRACTORS OR SUBCONTRACTORS. THE ARCHITECT AND DESIGNER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF ANY ELEMENTS OF THE PROJECT OR FOR THE PERFORMANCE OF ANY CONTRACTORS OR SUBCONTRACTORS.

SHEET TITLE:
CONCEPTUAL
LANDSCAPE
SECTIONS

PLANS AND SECTIONS ARE DRAWN TO SCALE UNLESS OTHERWISE NOTED.
PROJECT NUMBER: 1333
DATE: 12/18/2019
DRAWN BY: MRC

L3.01

118



STAFF REPORT
3/3/2021

TO: Planning Commission

FROM: Luis Lopez, Development Services Director

SUBJECT: Coachella Greenery Project

SPECIFICS:

- a) Conditional Use Permit 334 proposes to establish an 1100 square foot cannabis dispensary within units 1 and 3 of the existing industrial building located at 84-801 Avenue 48.
- b) Conditional Use Permit 293, (Modification), proposes to modify the phasing plan in order to convert what was approved as an interim facility into an 1100 square foot retail cannabis business and in the future remove the existing building that will contain the dispensary and relocate the dispensary within Phase 1 of the cannabis cultivation project that was previously approved as part of CUP No. 293.

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission adopt the following resolution for the Coachella Greenery Project:

- 1) Resolution No. PC 2021-01 approving Conditional Use Permit No. 334 that proposes to establish an 1100 square foot cannabis dispensary within units 1 and 3 of the existing industrial building located at 84-801 Avenue 48 and approving CUP 293 (Modification) that proposes to modify the phasing plan in order to convert what was approved as an interim facility into an 1100 square foot retail cannabis business and in the future remove the existing building that will contain the dispensary and relocate the dispensary within Phase 1 of the cannabis cultivation project that was previously approved as part of CUP No. 293.

EXECUTIVE SUMMARY:

The Coachella Greenery Project is proposing to establish an 1100 square foot cannabis dispensary for an interim period within units 1 and 3 of the existing industrial building located at 84-801 Avenue 48. Also proposed is a modification to CUP 293, (Cann Tech) that was approved by the Planning Commission in November 2017. The modification to CUP 293 proposes to convert what was approved as an interim facility into an 1100 square foot retail cannabis business and in the

future remove the existing building that will contain the dispensary and relocate the dispensary to the office building within Phase 1 of the cannabis cultivation project that was previously approved as part of CUP No. 293.

BACKGROUND:

The above referenced applications are proposed on a 3.12-acre site located at 84-801 Avenue 48. The aerial photograph below illustrates the subject site for the conditional use permit application.

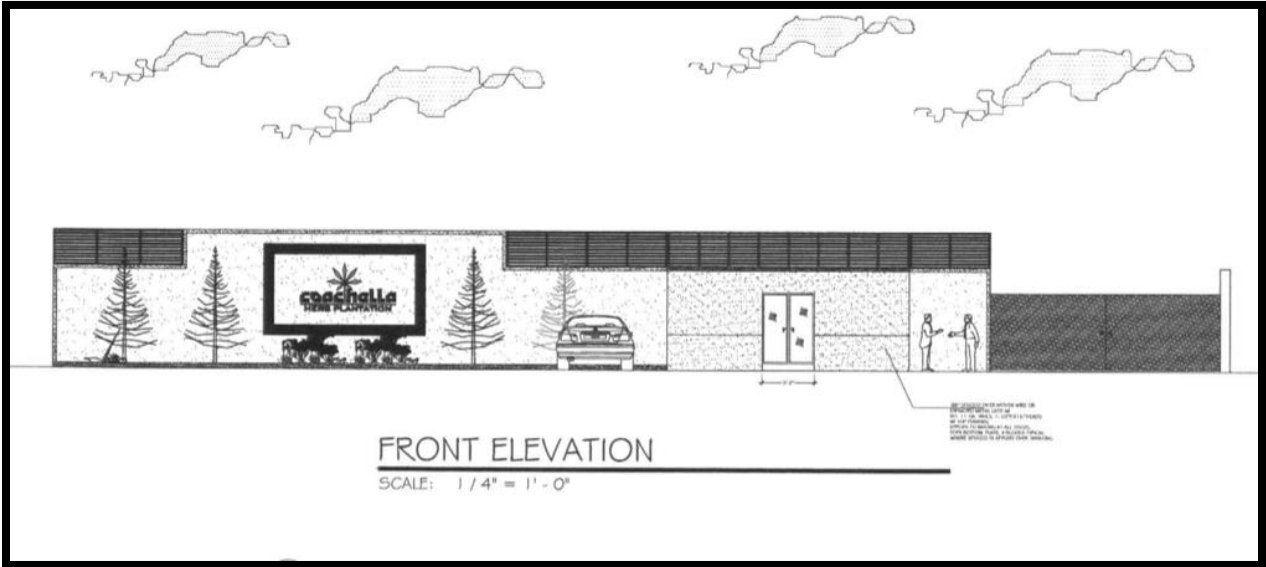


The photograph below is looking at the site from Avenue 48. As shown on the photograph, the site contains three structures consisting of a stucco building in front closest to Avenue 48 and two metal buildings located behind the front structure.



Building Permit History of the Project Site

According to building permit records, ABC Auto Salvage and Towing was first established on the property in 1974. Various automotive salvage and repair services continued on the site for the next 40 years. Several building permits were issued for electrical, plumbing and mechanical improvements throughout the 1980's and 1990's and 2000's. In 2013, Architectural Review 13-05 was approved along with the issuance of a building permit to Marcelos Auto Shop to replace an existing warehouse with a new 2400 square foot metal warehouse. In 2018, a building permit was issued for facade renovation, the addition of a handicap ramp and new entry doors as illustrated in the exhibit below:

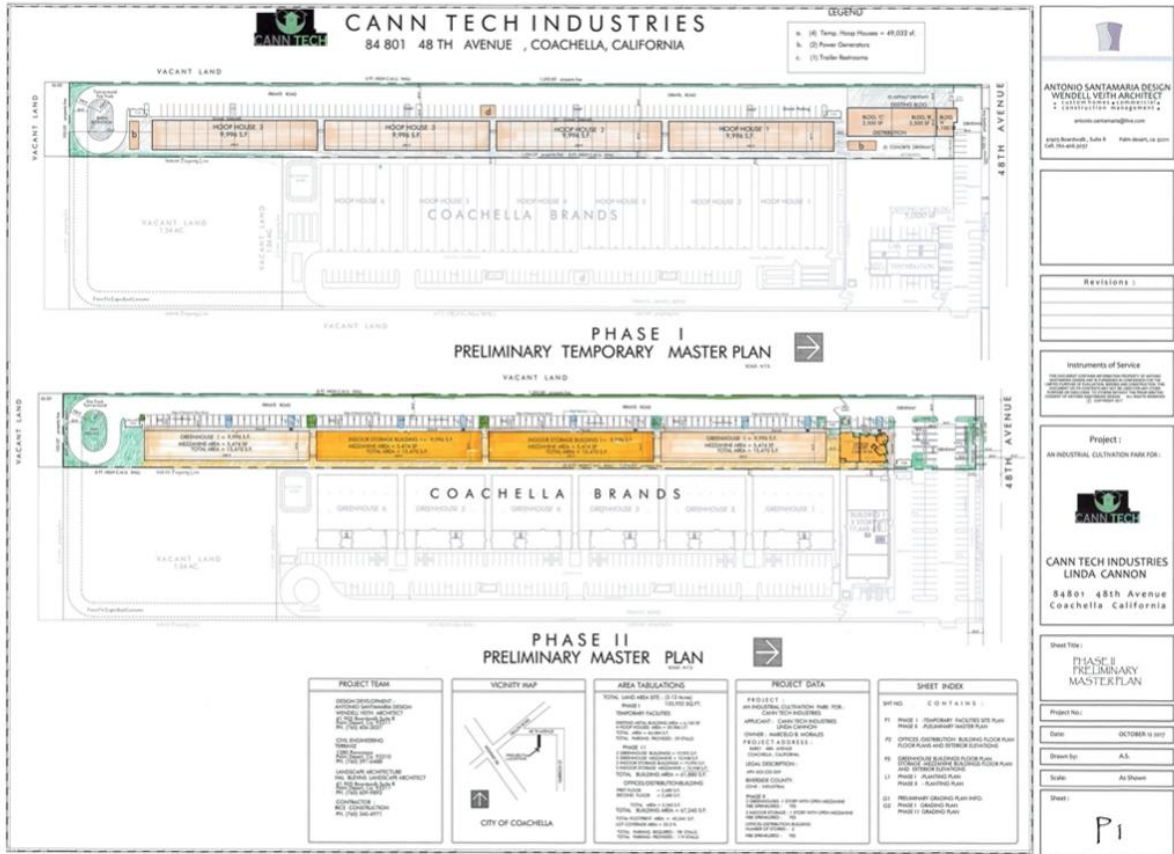


The existing building, which is vacant, but currently licensed to operate the “Coachella Herb Plantation” cannabis cultivation and distribution businesses, is consistent with the facade improvements that were approved in 2018.



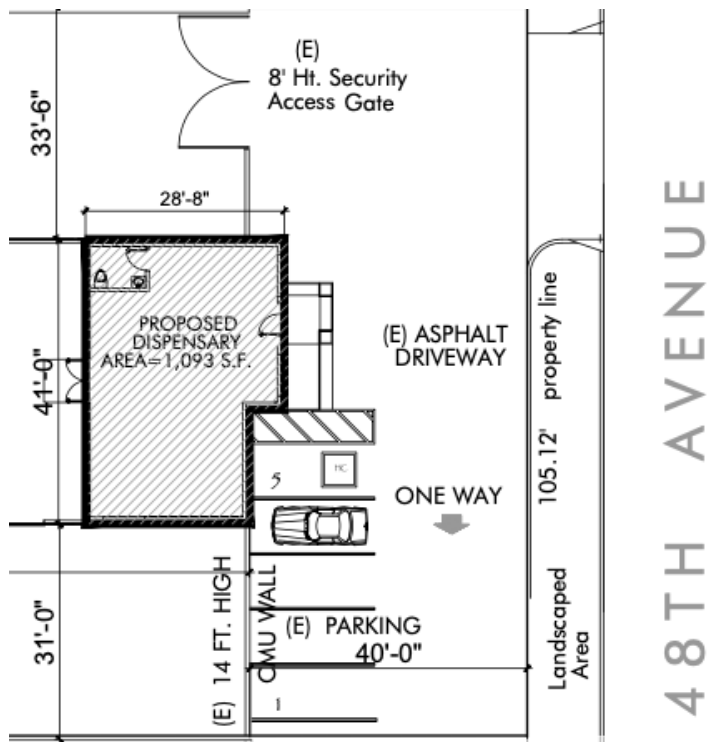
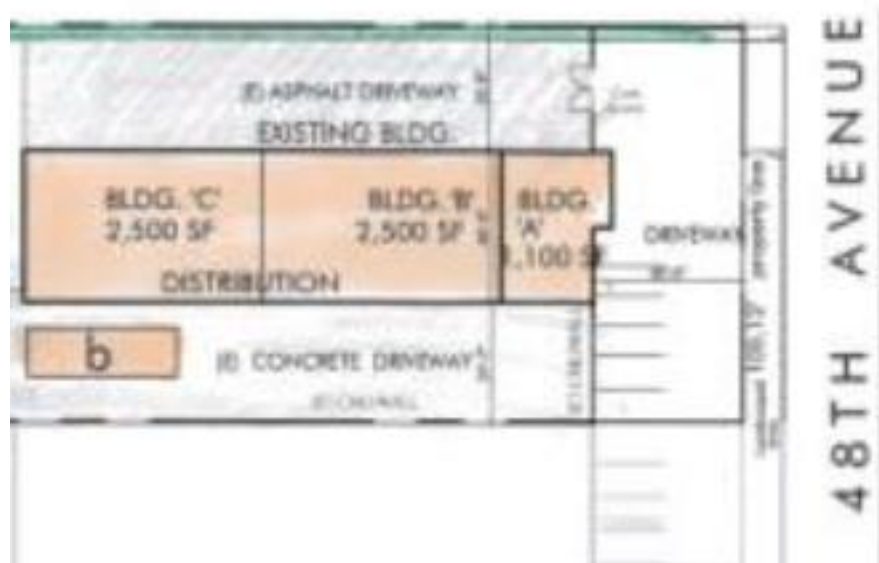
Overview of Approved CUP 293 and Architectural Review 17-14

The Planning Commission approved CUP 293 and AR 17-14 on November 28, 2017. Those approvals included the phased construction of a new 67,420 square foot commercial cannabis cultivation facility within a proposed multi-tenant industrial park. The project also included an interim use facility with a nursery business incubator. An exhibit of the approved site plan for CUP 293 and proposed architectural elevations are illustrated on the exhibits below:



Overview of the Coachella Greenery Project (CUP 334) and CUP 293 (Modification)

The Coachella Greenery project proposes to establish an 1100 square foot interim retail cannabis business within the existing industrial building “A” as shown on the exhibit below:

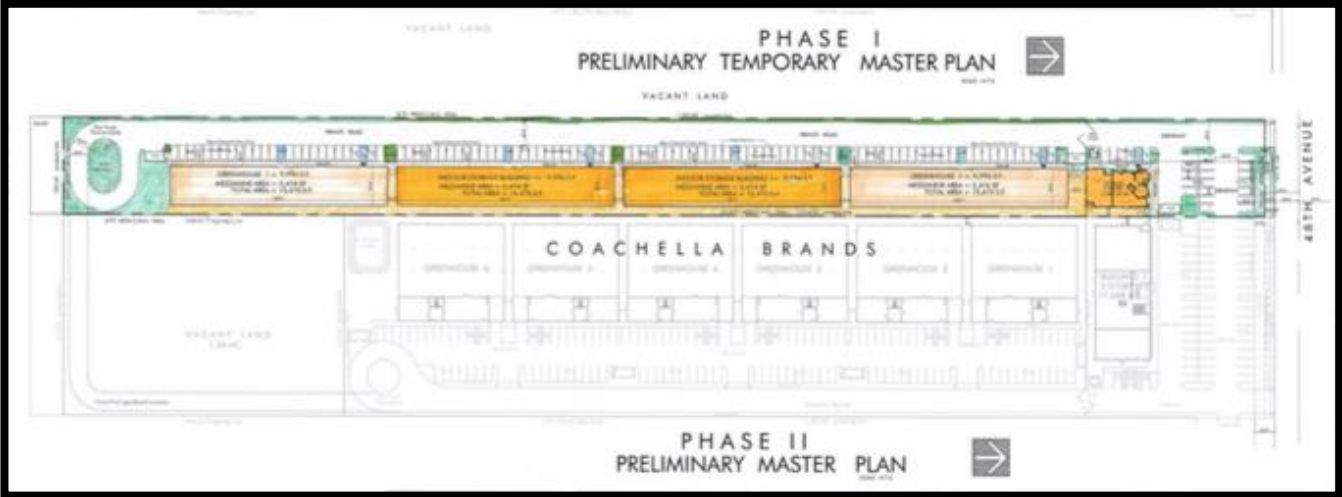


The proposed exterior elevation of the interim dispensary use is illustrated below.



Upon the demolition of the three existing buildings, a new retail cannabis dispensary will be constructed on the first floor of the proposed office building facing Avenue 48. At build out, the project will consist of the following:

- a) One- two story office/distribution/laboratory building that total 5,360 square feet that includes 24 parking spaces in front of the gated entry to the rear portion of the site.
- b) Four industrial greenhouse structures with mezzanines constructed of metal paneling and parapet roof structures totaling 15,470 square feet each that includes 95 parking spaces. An exhibit of the proposed Coachella Greenery CUP 334 and modified CUP 293 is illustrated below:



The proposed elevations for the Coachella Greenery project remain the same as those that were approved for CUP 293 and AR 17-14. A few examples of the proposed elevations are included below:



DISCUSSION/ANALYSIS:

Environmental Setting:

The site is designated Industrial District on the 2035 Coachella General Plan as illustrated on the exhibit below:



The project site is zoned Wrecking Yard (M-W) as illustrated on the exhibit below. Surrounding properties to the south are zoned M-S (Manufacturing Service) and to the east and west are zoned M-W (Wrecking Yard). Properties to the north across Avenue 48 are located on Tribal land within the City of Indio and are zoned for industrial uses.



Surrounding land uses to the north, south, east and west of the site consist of scattered vacant and industrial land uses.

Consistency with the Coachella General Plan

The proposed project is within the Industrial District land use designation of the General Plan 2035 Land Use Element. The project is consistent with the development intensity permitted by the Industrial District land use category.

Consistency with the (M-W) Wrecking Yard Zone

The project is consistent with the development standards of the M-W, Wrecking Yard Zone.

Consistency with Chapter 17.84 (Retail Cannabis Businesses and Chapter 17.85 (Commercial Cannabis Activity)

The proposed project is consistent with the requirements of both Chapters 17.84 and Chapter 17.85 of the Coachella Municipal Code.

Landscaping

The project proposes new landscape planters in the parking lot fronting Avenue 48 and new planter along the eastern and western property lines. Additional landscaped planters will be constructed in the parking areas adjacent to the proposed parking areas along the four structures that are proposed behind the new two-story office building. The exhibit below provides a conceptual view of the proposed project landscaping.



ENVIRONMENTAL REVIEW:

The City has determined that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to a Class 32 (Infill) Exemption.

CORRESPONDENCE

Please see Attachment 4 for correspondence received on this project.

ALTERNATIVES:

- 1) Approve Conditional Use Permit No. 334 and Conditional Use Permit 293 (Modification) with the findings and conditions as recommended by Staff.
- 2) Deny Conditional Use Permit No. 334 and Conditional Use Permit 293 (Modification).
- 3) Continue these items and provide staff and the applicant with direction.

RECOMMENDED ALTERNATIVE(S):

It is staff's recommendation that the Planning Commission open the public hearing and allow input from all proponents and opponents of the proposed project. Because the proposed Project is in conformance with the City's General Plan and the proposed use would be consistent with the Municipal Code and compatible with the surrounding uses in the area, it is staff's recommendation that the proposed project be approved by taking the following actions:

1. Motion to adopt Resolution No. PC 2021-01 approving Conditional Use Permit No. 334 and Conditional Use Permit 293 (Modification) with the findings and attached conditions of approval.

Attachments: Resolution No. PC 2021-01 for CUP 334 and CUP 293 (Modification)
Exhibit A: Conditions of Approval for CUP 293 (Modification), CUP 334 and AR 17-14
Historical Building Permits
Correspondence

RESOLUTION NO. PC 2021-01

A RESOLUTION OF THE CITY OF COACHELLA PLANNING COMMISSION APPROVING CONDITIONAL USE PERMIT NO. CUP 293 (MODIFICATION) TO MODIFY THE PHASING PLAN IN ORDER TO CONVERT WHAT WAS APPROVED AS AN INTERIM FACILITY INTO AN 1100 SQUARE FOOT RETAIL CANNABIS BUSINESS AND IN THE FUTURE REMOVE THE EXISTING BUILDING THAT WILL CONTAIN THE INTERIM DISPENSARY AND RELOCATE THE DISPENSARY WITHIN PHASE 1 OF THE CANNABIS CULTIVATION PROJECT THAT WAS PREVIOUSLY APPROVED AS PART OF CUP NO. 293 AND APPROVING CUP 334 TO ESTABLISH AN INTERIM 1100 SQUARE FOOT CANNABIS DISPENSARY WITHIN UNITS 1 AND 3 OF THE EXISTING INDUSTRIAL BUILDING LOCATED AT 84-801 AVENUE 48; LOCATED IN THE M-W (WRECKING YARD ZONE); COACHLLA GREENERY, APPLICANT.

WHEREAS, Diana Palacios (on behalf of Coachella Greenery) filed an application for Conditional Use Permit 334 to establish an 1100 square foot interim cannabis dispensary within units 1 and 3 of the existing industrial building located at 84-801 Avenue 48 and to modify Conditional Use Permit 293 to modify the phasing plan in order to convert what was approved as an interim facility into an 1100 square foot retail cannabis business and in the future remove the existing building that will contain the dispensary and relocate the dispensary within Phase 1 of the cannabis cultivation project that was previously approved as part of CUP No. 293; Assessor's Parcel No's. 603-232-025 and 603-232-027; and,

WHEREAS, Conditional Use Permit 293 and AR 17-14 were previously approved by the Planning Commission on November 28, 2017 pursuant to a Planning Commission Minute Action Item; and,

WHEREAS, the Planning Commission conducted a duly noticed public hearing on CUP No. 334 and CUP 293 (Modification) on March 3, 2021 at the Coachella Permit Center, 53-990 Enterprise Way, Coachella, California; and,

WHEREAS, the Applicant and members of the public were present and were afforded an opportunity to testify regarding the Project; and,

WHEREAS, the Project is permitted pursuant to Chapter 17.38 of the Coachella Municipal Code, and the attendant applications for Conditional Use Permits to allow the Project; and,

WHEREAS, the proposed use is necessary or desirable for the development of the community, is consistent with the objectives of the City's General Plan, and is not detrimental to the existing uses or the uses specifically permitted in the zone in which the proposed use is to be located; and,

WHEREAS, the proposed site is adequate in size and shape to accommodate the proposed development; and,

WHEREAS, the site for proposed use relates properly to streets which are designed to carry the type and quantity of traffic to be generated by the proposed use; and,

WHEREAS, the proposed project is exempt from the California Environmental Quality Act, as amended; and,

WHEREAS, the conditions as stipulated by the City are necessary to protect the public health, safety and welfare of the community.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Coachella, California hereby approves Conditional Use Permit No. 334 and Conditional Use Permit 293 (Modification), subject to the findings listed below and the attached Conditions of Approval for the Coachella Greenery Project (CUP 334) and Cann Tech Cannabis Cultivation Facility (CUP 293 Modification) (contained in “Exhibit A” and made a part herein).

Findings for Conditional Use Permit No. 334 and Conditional Use Permit 293 (Modification)

1. The Conditional Use Permits are consistent with the goals, objectives, policies, and implementation measures of the Coachella General Plan 2035. The site has an Industrial District land use designation that allows for the proposed development. The proposed uses on the site are in keeping with the policies of the Industrial District land use classification and the Project is internally consistent with other General Plan policies for this type of development.
2. The Projects are in compliance with the applicable land use regulations and development standards of the City’s Zoning Code. The site plan for CUP 334 proposes an interim cannabis dispensary within the existing building located at 84-801 Avenue 48 and Conditional Use Permit 293 (Modification) proposes the phased construction an 67,420 square foot commercial cannabis cultivation facility within a multi-tenant industrial park. The Projects comply with the applicable M-W (Wrecking Yard Zone) zoning standards as proposed and with Chapter 17.84 and 17.85 of the Coachella Municipal Code regarding Retail Cannabis Businesses and Commercial Cannabis Activity.
3. Every use, development of land and application of architectural guidelines and development standards shall be considered on the basis of the suitability of the site for a particular use or development intended, and the total development, including the prescribed development standards, shall be so arranged as to avoid traffic congestion, ensure the protection of public health, safety and general welfare, prevent adverse effects on neighboring property and shall be in accord with all elements of the general plan. The Project site is within the Industrial District land use designation of the City’s general plan. This category provides for a broad spectrum of industrial land uses. The proposed uses are compatible with existing adjacent land uses.
4. The City has determined that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the CEQA guidelines that provides for a Class 32 exemption. A Class 32 CEQA exemption exempts infill developments within City limits on a project site based on the following: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.(c) The project site has no value as habitat for endangered, rare or threatened species.(d) Approval of the project would not result

in any significant effects relating to traffic, noise, air quality, or water quality.(e) The site can be adequately served by all required utilities and public services. CUP 334 and CUP 293 (Modification) meet all five criteria required for a Class 32 CEQA exemption.

PASSED APPROVED and ADOPTED this 3rd day of March 2021.

Stephanie Virgen, Chairperson
Coachella Planning Commission

ATTEST:

Yesenia Becerril
Planning Commission Secretary

APPROVED AS TO FORM:

Carlos Campos
City Attorney

I HEREBY CERTIFY that the foregoing Resolution No. PC-2021-01, was duly adopted at a regular meeting of the Planning Commission of the City of Coachella, California, held on the 3rd day of March 2021, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Yesenia Becerril
Planning Commission Secretary

EXHIBIT A

CONDITIONS OF APPROVAL FOR COACHELLA HERB PLANTATION CAMPUS CONDITIONAL USE PERMIT NO. 293 (MODIFICATION), COACHELLA GREENERY CONDITIONAL USE PERMIT 334 AND ARCHITECTURAL REVIEW NO. 17-14

CONDITIONS OF APPROVAL FOR CUP NO. 293 (Modification):

1. Conditional Use Permit No. 293 (Modification) is approved to allow a 67,240 cannabis cultivation facility on 3.2 acres of land. ~~including an interim use facility only.~~ and a cannabis dispensary/retail store within the first floor of the 5,360 square foot office/distribution/laboratory/dispensary building within phase 1 of the Conditional Use Permit.
2. The owner shall process a Lot Line Adjustment/Lot Merger to completion in order to create one 3.2-acre parcel prior to issuance of a building permit.
3. Prior to issuance of a building permit, the owner shall submit proof of a reciprocal access easement with the adjoining property owner to the east for shared access of parking areas and rear service driveways having emergency access over both lots.
4. Conditional Use Permit No. 293 shall be contingent upon Planning Commission approval of Architectural Review No. 17-14 for a 67,240 square foot multi-tenant industrial development on the subject site. The Conditional Use Permit shall be valid for 12 months from the effective date of said approvals unless an extension of time is requested by the applicant and granted by the Planning Commission. Issuance of building permits and pursuit of construction will vest the Conditional Use Permit
5. Pursuant to the Zoning Code, Regulatory Permits for each individual user of the facility must be issued by the Coachella City Manager prior to the initiation of individual operations within the facility.
6. All proposed “nursery incubator” greenhouses as part of Phase 1 shall be equipped with adequate carbon filtration systems that can recycle the atmospheric air inside the cultivation areas at a minimum rate of 100% every 5 hours during all hours of operation. The use of swamp coolers or other air conditioning systems shall not be vented directly to the exterior of the building without the use of a carbon filtration system.
7. The owner or successor in interest shall provide to the City of Coachella, the name and telephone number of a designated “Dust Control Agent” having the authority and responsibility for odor control for the Phase 1 temporary greenhouse campus on a 24-hour basis. The name of this person shall be included in the temporary PM-10 sign that is to be posted on the property as part of the issuance of any grading permits for the project and shall be provided to all future cannabis cultivation licensees.

8. Prior to the issuance of a Cannabis Regulator Permit, the owner or successor in interest shall require all cannabis cultivation licensees to sign a disclosure certificate acknowledging and accepting to comply with all directives of the Dust Control Agent during the Phase 1 cultivation and processing activities on the site. Said disclosure shall be prepared to the satisfaction of the City Attorney, and an executed copy of the certificate shall be submitted to the City of Coachella prior to the issuance of any Cannabis Regulatory Permit for each licensee.
9. ~~The interim use facility shall be limited to a maximum of 46,084 square feet during the time that the project is under construction. All cannabis regulatory permittees for the Interim Use Facility shall obtain a building permit and final inspections for the temporary “nursery incubator” premises wherein they make application establishing a bona-fide place of business that can be permitted and licensed. All cannabis licensee premises shall be subject to review and approval by the Building Official and the City’s Fire Marshal and shall require permits and inspections prior to occupancy. All interim use structures shall be removed from the site no more than 12 months from the opening date of the first interim use facility operations.~~
10. Pursuant to the City’s General Plan, and because the project site is considered to be highly sensitive for containing prehistoric archaeological deposits in subsurface contexts, a qualified Archaeological and Native American monitor shall be present during all ground disturbing activities within the project site. The owner or successor in interest shall hire a tribal grading monitor in coordination with the 29 Palms Band of Mission Indians and shall submit proof of procurement of the tribal monitor prior to the issuance of a grading permit, unless an alternative agreement is reached between the owner and the tribal government staff.

CONDITIONS OF APPROVAL FOR CONDITIONAL USE PERMIT 334:

1. Conditional Use Permit No. 334 is approved to allow an 1100 square foot retail cannabis dispensary within units 1 and 3 of the existing industrial building for an interim period of up to 48 months or prior to the construction of Phase 1 of CUP 293, whichever is sooner. Upon completion of Phase 1 of CUP 293, the dispensary will be relocated within the first floor of the office building as approved within CUP 293 (Modification) and AR 17-14. Hours of operation for the interim facility shall be from 9am to 10pm unless superseded by State Law.
2. All cannabis regulatory permittees for the Interim Use Facility shall obtain a building permit and final inspections for the interim facility wherein they make application establishing a bona-fide place of business that can be permitted and licensed. All cannabis licensee premises shall be subject to review and approval by the Building Official and the City’s Fire Marshal and shall require permits and inspections prior to occupancy. All interim use structures shall be removed from the site no more than 48 months from the opening date of the first interim use facility operations or prior to

construction of Phase 1 within CUP 293, whichever is sooner.

3. Architectural enhancements to the existing building and parking lot improvements including landscaping shall be completed prior to the issuance of occupancy permits for the interim use.
4. Detailed plumbing plans shall be submitted for water and sewer-upon availability, facility will be required to connect to sewer.
5. Until sewer availability, all wastewater will be contained within a sealed tank and hauled offsite as found in WDID No. 7_33CC405783 for Herb Plantations Notice of Applicability.
6. Facility must present current manifest records from authorized waster hauler of waste.

CONDITIONS OF APPROVAL FOR ARCHITECTURAL REVIEW NO. 17-14:

1. Architectural Review No. 17-14 shall be valid for 12 months from the effective date of said Planning Commission approvals unless an extension of time is requested by the applicant and granted by the Planning Commission. Issuance of building permits and pursuit of construction will vest the Architectural Review.
2. The construction of all new structures shall be in conformance with construction drawings and landscaping plans designed in accordance with plans submitted with this application and condition of approval imposed below:
 - a) ~~Except for the “Interim Use Facility”~~, Greenhouse structures shall not be allowed and exterior building walls shall include continuous parapet walls that screen the roof structures from view to the street. All exterior building materials and colors shall substantially match the colors of the front 2-story office building.
 - b) All fencing or garden walls shall be subject to issuance of a separate building permit by the City Building Division. The existing masonry walls shall be painted to complement the building colors as part of Phase 1.
 - c) All parking lot lighting for the Project shall match the lighting fixture standards of the adjoining “Coachella Brands” site, as approved by the Development Services Director.
 - d) All masonry perimeter walls and garden walls shall be decorative masonry with decorative cap subject to review by the Development Services Director, and subject to the City’s Building Codes.
3. All plans, as shown, are considered “conceptual,” subject to revisions as called out by the conditions of this resolution. The plans shall not be stamp-approved until all conditions requesting revisions have been satisfied during the building plan check

process. Any substantial changes to the plans, including changes shown on future building permit plans deemed by Staff to not be within substantial conformance with this approval, will require an amendment to the approval of Architectural Review No. 17-14, including architectural features, materials, and site layout.

4. A preliminary geological and soils engineering investigation shall be conducted by a registered soils engineer, and a report submitted for review with the precise grading plan and shall include pavement recommendations. The report recommendations shall be incorporated into the precise grading plan design prior to plan approval. The soils engineer and/or the engineering geologist shall certify to the adequacy of the grading plan.
5. A precise grading/improvement plan, prepared by a California Registered Civil Engineer, shall be submitted for review and approval by the City Engineer prior to issuance of any permits. A final soils report, compaction report and rough grading certificate shall be submitted and approved prior to issuance of any building permits
6. Drainage Report, prepared by California Registered Civil Engineer, shall be submitted for review and approval by the City Engineer prior to issuance of any permits. The report shall contain a Hydrology Map showing on-site and off-site tributary drainage areas and shall be prepared in accordance with the requirements of the Riverside County Flood Control District. Adequate provisions shall be made to accept and conduct the existing tributary drainage flows around or through the site in a manner which will not adversely affect adjacent or downstream properties. If the design of the project includes a retention basin, it shall be sized to contain the runoff resulting from a 10-year storm event and the runoff from a 100-year storm event shall be contained within basin with shallow ponding (3.5' max.). The basin shall be designed to evacuate a 10-year storm event within 72 hours. The size of the retention basin(s) shall be determined by the hydrology report and be approved by the City Engineer. Retention basin shall be provided with a minimum of 2.00 feet sandy soil if determined to contain silt or clay materials. Maximum allowable percolation rate for design shall be 10 gal./s.f./day unless otherwise approved by the City Engineer. A percolation test for this site is required to be submitted. A combination drywell vertical drain field shall be constructed at all points where runoff enters the retention basin. Drywell & vertical drain field design shall be based on soils borings made at the proposed drywell locations after the retention basins have been rough graded. Minimum depth shall be 45-feet. A log that includes sieve analysis for each strata of the borings shall be submitted to the City Engineer for confirmation of depth of the vertical drain fields. Underground retention under the proposed parking area will be considered as an alternative to surface retention subject to the approval of the City Engineer. Site access improvements shall be in conformance with the requirements of Title 24 of the California Administrative Code. This shall include access ramps for off-site and on-site streets as required.
7. The applicant shall obtain approval of site access and circulation from the Riverside County Fire Marshall.

8. Street improvement plans prepared by a California Registered Civil Engineer shall be submitted for engineering plan check prior to issuance of encroachment permits. All street improvements including street lights shall be designed and constructed in conformance with City Standards and Specifications. Street flow line grade shall have a minimum slope of 0.35 percent.
9. The applicant shall construct all off-site and on-site improvements including street pavement, curb, gutter, sidewalk, street trees, perimeter walls, perimeter landscaping and irrigation, storm drain, street lights, and any other incidental works necessary to complete the improvements. Driveways shall conform to City of Coachella standards for commercial driveways with a minimum width of 24.00 feet and curbed radius entrances.
10. The applicant shall obtain an encroachment permit for any improvements constructed within public right-of-way including alleys.
11. The owner or successor in interest shall connect all new buildings to the City's water and sewer main lines with new meters and shall pay all applicable water and sewer impact fees. Sewer and Water Improvement Plans prepared by a California Registered Civil Engineer shall be submitted for engineering plan check and City Engineer approval.
12. The applicant shall construct all off-site and on-site water improvements and any other incidental works necessary to complete the improvements. Size and location of sewer and water improvements shall be approved by the City Engineer.
13. Prior to issuance of any encroachment permits by the City of Coachella, the applicant shall resolve CVWD issues related to existing tile drains or irrigation mains located within the project boundary or along the streets adjacent to the property. If necessary tile drains and irrigation lines shall be relocated and easement documents prepared for the new location of any such lines. Plans for the tile drain or irrigation relocation shall be submitted to CVWD for approval and a copy of the plans shall be submitted to the City for evaluation regarding possible conflict with City facilities. The applicant shall submit to the City approved copies of any such relocation plans.
14. The applicant shall provide necessary utility easement for IID and underground overhead distribution lines. Applicant shall submit to the City a letter from IID that satisfy this requirement.
15. The developer shall submit a Fugitive Dust Control and Erosion Control plan in accordance with Guidelines set forth by CMC and SCAQMD to maintain wind and drainage erosion and dust control for all areas disturbed by grading. Exact method(s) of such control shall be subject to review and approval by the City Engineer. No sediment is to leave the site. Additional securities, in bond form, in amount of

\$2,000.00 per acre of gross area, and a one time cash deposit of \$2,000.00 are required to insure compliance with this requirement. No work may be started on or off site unless the PM-10 plan has been approved, the original plans, and executed dust control agreement, are filed in the engineering department at the City of Coachella.

16. The applicant shall pay all necessary plan check, permit and inspection fees. Fees will be determined when plans are submitted to the City Engineering Department for plan check.
17. Applicant shall comply with the valley wide NPDES permit requirements including but not limited to submittal of a Preliminary WQMP for plan review accompanied by a \$3,000 plan check deposit and a Final WQMP for final approval including executed maintenance agreement. All unused plan check fees will be refunded to the applicant upon approval of the Final WQMP.
18. "As-built" plans shall be submitted to and approved by the City Engineer. Prior to acceptance of the improvements by the City, such plans, once approved, shall be given to the city on compact disk in AutoCad format. All off-site and on-site improvements shall be completed to the satisfaction of the City Engineer prior to acceptance of improvements for maintenance by the City.
19. Prior to issuance to of certificate of occupancy, all public improvements, including landscaping and lighting of the retention basins, and landscaped areas along the exterior streets, shall be completed to the satisfaction of the City Engineer. An engineering final inspection will be required.
20. Fire Department emergency vehicle apparatus access road location san design shall be in accordance with the CA Fire Code, and related standards. All portions of structures shall be within 150 feet of the approved 24-foot wide fire lane or municipal street.
21. Fire Department water systems for fire protection shall be in accordance with the CA Fire Code and related standards. Plans must be submitted to the Fire Marshal's Office for review and approval prior to building permit issuance.
22. The proposed project must show a water system capable of delivering a fire flow of at least 1750 gallons per minute for a 3-hour duration at 20 psi residual operating pressure.
23. The required water system, including fire hydrants, shall be installed and accepted by the Coachella Water Authority prior to any combustible building material being placed on the site. Two sets of water plans must be submitted to the Fire Marshal's office for review and approval, showing compliance with fire hydrant locations per Coachella Municipal Codes and related Fire Codes. Hydrants shall be located on the site and at the street spaced 350 to 500 feet apart, depending on City standards.
24. The applicant shall submit water and sewer plans for approval from Utilities General Manager for review and approval and shall connect to City public sewer and water

systems.

25. The project will require a Water Quality Management Plan (WQMP) meets Priority Project criteria of greater than 25 parking spaces. The facility will be required to submit a source control survey; may require grease interceptor if edibles are proposed. The applicant shall submit detailed plumbing and mechanical plans.
26. The applicant shall install an Above Ground “Double Check Detector Assembly” DCDA for fire system to protect water supply from contamination or pollution.
27. Backflow devices will be required to have Reduced Pressure Principle Device (RP) within 12 inches of water service installed to protect water supply from contamination or pollution.
28. The applicant shall install separate AMI metering system for each building, and shall install separate AMI metering system for irrigation system.
29. The project must implement the State’s drought mandate which prohibits irrigation with potable water outside newly constructed homes and buildings that is not delivered by drip or micro-spray systems.
30. All wall signs shall consist of channel lettering. The applicant shall submit a sign program for the industrial center prior to the issuance of any sign permits.
31. The applicant shall submit landscaping and irrigation plans for review by the Development Services Director. The use of 36-inch box Acacia tress shall be used in the parking lot, and for the Ficus hedge planter areas.
32. A sign program shall be submitted for review by the Planning Commission as a non-hearing item.



CITY HALL
1515 SIXTH STREET
COACHELLA, CALIFORNIA 92236
TELEPHONE (714) 398-6131

March 14, 1974

TO WHOM IT MAY CONCERN:

This letter is to certify that the wrecking yard nearing completion by Beryl D. Hartgraves conforms with all rules and regulations of the City of Coachella. The property is properly zoned and in conformance with the General Plan of the City of Coachella.

An occupancy permit will be issued for the wrecking yard upon obtaining of the proper State permits and clean-up of remaining details.

Sincerely,

Ben M. McMakin,
City Manager

BMM:lf



Phone: 398.6146

April 5, 1974

Beryl Hartgraves
49-305 Hwy 74 #23
Palm Desert, California 92260

Dear Mr. Hartgraves:

The City Council has instructed us to enforce the Junk and Salvage Yard Ordinance, Sections 17-17 to 17-28 in the Coachella Municipal Code, and other applicable city ordinance as they apply to the appropriate businesses. I have attached a copy of the Junk and Salvage Yard Ordinance for your information.

In order to facilitate an equitable enforcement of the ordinances you are required to submit a plot plan and time table indicating what improvements you plan on doing to bring your facility into compliance with the law. The plot plan and time table are required by April 30, 1974.

The Planning Commission will be reviewing these plans and time tables when they review your Conditional Use Permit. They will also be interested in how you plan to provide adequate water flow for fire protection purposes and street improvements including curbs and gutters.

Your plans and time table shall be submitted by April 30, 1974. If you have any questions please contact either myself or the Building Director, Joe Palomino.

Sincerely,

Ben M. McMakin,
City Manager

BMM:lf



AUTO SALVAGE & TOWING

Phone
398-6146

84-801 AVENUE 48 • COACHELLA, CALIFORNIA 92236

RECEIVED

APR 29 1974

APR 27, 1974

City of Coachella
1515 Sixth Street
Coachella, Calif. 92236

CITY OF COACHELLA
BLDG. DEPT.

BY

Dear Sir:

In response to your letter of April 5th as to making my facility in compliance with the Junk and Salvage Yard Ordinance.

As for installing curb and gutter for the City, I would be pleased if this could be set aside for sometime as the water is by far more important for fire protection and also domestic water.

We are planning to put two modular homes in the rear of our property as soon as possible, but without water it is impossible. As soon as we complete this we plan to enclose the rear fence on our property.

I am just getting started in my business and have tried in every way to comply with City Ordinance. I feel that at present time the need for water is much more important than curb and gutter. I must protect my investment from fire. We do hope this will be granted to us.

Yours truly,

Beryl Hartgraves
ABC Auto Salvage & Towing
Beryl Hartgraves

cc City Manager, Ben Mc Makin
cc City Mayor, Manuel Rios
cc Building Director, Joseph Palamino



1515 SIXTH STREET • COACHELLA, CALIFORNIA 92236

TELEPHONES
BUSINESS: 398-0982
EMERGENCY: 398-2000

January 2, 1974

TO: CITY MANAGER
FROM: FIRE CHIEF
SUBJECT: MH ZONE - Harrison Street and Avenue 48

RECEIVED
JAN 2 1973

CITY OF COACHELLA
BLDG. DEPT.
BY: *lg*

The above mentioned area does not have a public water system for fire protection. This of course represents a problem for our fire suppression force.

We are presently working with two property owners, who have private pumps, and the Coachella Valley Water District on the mechanics of obtaining water for fire protection purposes from these sources.

The above method of obtaining water, although useful, would not give us the adequacy or reliability of a public water system.

We are hereby recommending that all conditional use permits issued in that area carry an agreement by the property owner to share in the cost of a public water system when said system is installed by the city.

In addition, a private pump shall be provided by the property owner; said pump to be fitted with fire department connections for fire fighting purposes.

Respectfully submitted,

R. N. Cabriales,
FIRE CHIEF

RNC/bb

XC: Building Dept,
Engineering Dept.

C.A.B.C.
Dismantling
yard?

603-232-067-60

Doesn't require parcel to the
advantage of owner to survey and
record.

Item 2.

Harry L. Zimmerman
W. J. Zingg
48055 Highway 111
Coachella, CA 92236

December 18, 1973

City of Coachella
1515 Sixth
Coachella, CA 92236

Attention: Engineering Department

Re: Lot "F" as shown by Map of Subdivision of Section 31, Township 5
South, Range 8 East, San Bernardino Base and Meridian, on file
in Book 5, Page 126 of Maps, Records of Riverside County, California.

Please be advised that the above property will be surveyed by K. W. L.
Associates of Palm Desert and the Parcel Map will be filed just as
soon as possible. We will secure and pay for the above services.

Harry L. Zimmerman
Harry L. Zimmerman, Owner

W. J. Zingg
W. J. Zingg, Owner

cc: City of Coachella Planning Commission
Harry L. Zimmerman
W. J. Zingg
Beryl Hartgraves

Harry L. Zimmerman
W. J. Zingg
48055 Highway 111
Coachella, CA 92236

December 18, 1973

City of Coachella
1515 Sixth
Coachella, CA 92236

Attention: Engineering Department

Re: Lot "F" as shown by Map of Subdivision of Section 31, Township 5
South, Range 8 East, San Bernardino Base and Meridian, on file
in Book 5, Page 126 of Maps, Records of Riverside County, California.

Please be advised that the above property will be surveyed by K. W. L.
Associates of Palm Desert and the Parcel Map will be filed just as
soon as possible. We will secure and pay for the above services.

Harry L. Zimmerman, Owner

W. J. Zingg, Owner

cc: City of Coachella Planning Commission
Harry L. Zimmerman
W. J. Zingg
Beryl Hartgraves



Administration.....	398-3502	Fire.....	398-8895
Building.....	398-3002	Recreation.....	398-1124
City Clerk.....	398-3403	Planning.....	398-3102
Code Enforcement..	398-3002	Police.....	398-0101
Community Dev.....	398-3202	Public Works.....	398-4202
Engineering.....	398-5744	Sanitary.....	398-1102
Finance.....	398-2702		

January 26, 1989

Auto Parts and Salvage
84801 1/2 Avenue 48,
Coachella, CA 92236

Gentlemen:

In January, 1987, the Coachella City Council adopted a new and updated General Plan for the City. In the last two years, the City has been bringing its Zoning Map into conformance with its New General Plan. The New General Plan designates the area of the dismantling yards as "light industrial." This is the last area considered for "conformance re-zoning."

The new zoning that would be considered for the dismantling yard area is M-S (Manufacturing Service). This would, in effect, make the area "non-conforming."

There is some support for retaining the M-W (Manufacturing Auto Wrecking) Zone. The City would like to see the businesses in this area conform to the requirements of the M-W Zone.

Your help is needed. We would like you to please consider addressing the following zoning code violations that have been identified at your property:

No improvements necessary. Keep up the good work!

We will be contacting you about your progress, keeping you informed about the status of the re-zoning.

If you have any questions, please feel free to call 398-3202.

Sincerely,

Dan Fissori
Director of Community Development
and Redevelopment

DF/am



J.F. Davidson Associates, Inc.

ENGINEERING PLANNING SURVEYING ARCHITECTURE LANDSCAPE ARCHITECTURE

March 17, 1988

Mr. Charles J. Haver
City Engineer
City of Coachella
1515 Sixth Street
Coachella, CA 92236

RE: Auto Parts and Salvage - 84-801 Ave. 48 Coachella, CA 92236
Pad Certification

Dear Mr. Haver:

Please be advised that the building pad on the above referenced project has been rough graded substantially in conformance with the grading plan prepared by this office dated 12/17/87, approved 2/09/88 (J.F.D. w.o. 8710096).

Sincerely,

Dave Weddle
L.S. 5570
J.F. Davidson Assoc., Inc.

DW:sh

DAILY FIELD REPORT

No: Item 2.

Job Name: DATE LAND (AUTO PARTS ENLARGE) Project No.: 586164602 Date: 3-9-88
 Location: CONCHOLCA Weather: SUNNY - WARM Day: WENS
 Contractor: SANCO Foreman:

Field Technician: MARC KORSTAD Miles: Hours: 2.5

Equipment Working: Inspection / Testing of FG/CF

Test No.	Test Location	Elevation or Depth	Soil Type	Optimum Moisture	Field Moisture	Maximum Density	Field Density	Rel. Comp.
5	S.W. PAD AREA	FG.	A	7.5	6.2	130.6	121.8	93
6	S.E. " "	↓	↓	↓	6.7	↓	120.7	92
7	N.E. " "	↓	↓	↓	8.1	↓	121.8	93
8	N.W. " "	↓	↓	↓	6.9	↓	122.8	94
9	Center " "	↓	↓	↓	8.6	↓	121.0	93

Summary of Operations: ARRIVED THE SITE THIS AM & TASK FIVE FINISH
GRADE TESTS IN THE PAD AREA OF SITE - ALL TESTS
ABOVE 90% REQUIRED COMPRESSION - MIC

Supervisor: P.H. Engineer: Geologist:

Today's Yardage: Yardage to Date:



LEIGHTON and ASSOCIATES

17975 Sky Park Circle, Suite E, Irvine, California 92714

Tel: (714) 556-1421 556-1422

DAILY FIELD REPORT

No: Item 2.

Job Name: DATLAND - COACHELLA Project No.: 586 1646 02 Date: 12-9-87
 Location: 435th St. Dillon Weather: Sunny & Warm Day: Wens
 Contractor: Datland Foreman: [Signature]

Field Technician: MARC KOSTAD Miles: Hours: 3.0

Equipment Working: [X] AUTO PARTS | SALUNGE Inspection / Testing of FG

Test No.	Test Location	Elevation or Depth	Soil Type	Optimum Moisture	Field Moisture	Maximum Density	Field Density	Rel. Comp.	
1	NW. Pad	<u>EC 51.50 FL</u>	A	9.3	5.2	126.0	120.4	96	
2	NE Pad	↓	↓	↓	6.3	↓	118.0	94	
3	E Pad	↓	↓	↓	12.1	↓	118.5	94	
4	W. Pad	↓	↓	↓	7.8	↓	118.2	94	
5	SW. Pad	↓	↓	↓	6.3	↓	123.0	98	
6	SE. Pad	↓	↓	↓	8.4	↓	116.5	92	
					Z →				
					⑤	④	①	15	
					⑥	③	②	10	

Summary of Operations: Installed and tested 6th and 7th test pits
Tests in the NE corner of site. All tests were fine.
After and before 4:30 PM construction I checked the pit logs and
1 Marc Kostad
Leighton + Assoc

Supervisor: P.H. Engineer: Geologist:

Today's Yardage: Yardage to Date:

LEIGHTON and ASSOCIATES

17975 Sky Park Circle, Suite E, Irvine, California 92714 Tel: (714) 556-1421 556-1422

BUILDING PERMIT No. 2616

CITY OF COACHELLA, CALIFORNIA

Phone (714) 398-0161 x 398-6131

603-232-009

OWNER Beryl Hartgraves (714) 398-3951

49-305 Hwy 74, Palm Desert #23, Calif.

CONTRACTOR Bill Shadwick, 74-100 El Cortez

Palm Desert (Bus: Shalfont 346-3977) #1072

JOB ADDRESS 84-801 Avenue 48

LOT BLK TRACT

ARCHITECT Walling & McCallum Asso.

73-900 El Paseo, Suite 4, Palm Desert

ENGINEER

PURPOSE OF PERMIT Dismantling yard

Office

PLAN CR31 SPECIAL INSP

AIR COND yes PLUMB yes ELECT yes

LOT SIZE 323x1370 BLDG. SIZE 24x30

VALUATION \$12,384.00 FOOTAGE

OCCUPANCY GROUP F-2 USE ZONE M-E

TYPE CONSTR. V-N FIRE ZONE 2

SETBACK-FRONT REAR SIDE

CURBING required TYPE V CEMENT yes

DATE REC. 1-30-74 DATE APP

APPROVED BY Joe Palomino, ig

SPECIAL NOTES: STREET IMPROVEMENTS

REQUIRED BEFORE FINAL

OWNER-BUILDER CONTRACTOR

I certify that in the performance of the work for which this permit is issued I shall not employ any person in violation of the workmen's compensation laws of California.

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State laws applicable.

Signed: Beryl Hartgraves

FEES: PLAN, CK. \$26.50 BUILDING \$53.00

TOTAL OF ALL FEES: \$116.90

NOTICE TO CONTRACTORS & SUB-CONTRACTORS

Final inspection of this job may be withheld until all contractors or sub-contractors having performed work under the above building permit have signed this card below as having valid Coachella business licenses.

GRADING _____

SEWERS _____

FRAMING _____

ROOFING _____

PLUMBING _____

LATHING _____

FLOORING _____

TILES _____

PAVING _____

INSPECTION RECORD

EXCAVATION & SETBACKS:

Pour no concrete until signed here.

SETBACKS: JCB 1-10-74

FOOTINGS: JCB 2-14-74

FORMS OR STEEL: JCB 2-10-74

CONCRETE SLAB FLOOR:

Do not pour until signed.

ELECTRIC Gnrwk: JCB 2-13-74

PLUMBING Gnrwk: JCB 2-13-74

SLAB HEIGHT: JCB 2-14-74

ELECT. GROUND

CRUSHED ROCK

ROUGH INSPECTIONS:

Cover no work until signed.

ELECTRIC: JCB 3/1/74

PLUMBING: JCB 3/1/74

T & P VALVE

GAS LINES

A/C & HEATING

ATTIC ACCESS

ATTIC VENTS

GARAGE VENTS

FRAMING: JCB 3/1/74

ROOF NAILING: JCB 3/1/74

OTHER:

SPECIAL INSPECTION:

Cover no work until signed.

INSULATION

LATH & PLASTER:

Cover no work until signed.

EXT. LATH

INT. LATH

SHOWER BACKING

CORNER BEAD

VENEER ANCHORS

FINISH INSPECTION:

Do not occupy until signed.

ELECTRICAL

PLUMBING

GAS

A/C & HEATING

BUILDING

SEWAGE

CURBING

PARKING

DOOR CLOSER

T & P VALVE

OTHER:

AIR CONDITIONING PERMIT

AMOUNT CLASSIFICATION

PERMIT 3.00

APPLIANCES 6.00

AIR DUCTS

VENTS

VENT DUCTS

COMPRESSORS

COILS

TOWERS

COOLERS

PRE-COOLERS

SPECIAL INSP

OTHER:

TOTAL FEE 9.00

Special Notes:

ELECTRICAL PERMIT

AMOUNT CLASSIFICATION FEE

PERMIT 3.00

SERVICE 2.00

3/100% CENT RATE 5.40

1/2 CENT RATE

FIXTURES

GENERATORS

APPLIANCES

MISC.

MOTORS

OUTLETS

SIGNS

CONSTR. POLE

TRANSFORMERS

ANNUAL PERMIT

SPECIAL INSP

OTHER:

TOTAL FEE 10.40

Special Notes:

PLUMBING PERMIT

AMOUNT CLASSIFICATION FEE

PERMIT 2.00

2 FIXTURES 3.00

SEWER

PRIVATE SEWER 10.00

WATER HEATER

8/20/74 GAS PIPING 1.50

WATER PIPING 1.50

DRAINAGE

SPRINKLERS

OTHER:

TOTAL FEE 18.00

Special Notes:

Contractors number home (346-8995)

PLASTERING

CABINETS

GLAZING

SHEET METAL

INSULATION

OTHER:

BUILDING PERMIT No. 2617

CITY OF COACHELLA, CALIFORNIA

Phone (714) 398-0161 398-6131
603-232-009

OWNER Beryl Hartgraves
49-305 Hwy 74, Palm Desert #23, Calif.

CONTRACTOR Bill Shadwick, 74-100 El Cortez
Res: 346-8995 Bus: Chalfon 346-3977 #1672

JOB ADDRESS 84-801 Avenue 48

LOT BLK TRACT

ARCHITECT Walling & McCallum Assoc.
73-900 El Paseo, Suite 34, Palm Desert

ENGINEER

PURPOSE OF PERMIT 2,000 ln. ft. red wood fence

PLAN CK SPECIAL INSP

AIR COND PLUMB ELECT

LOT SIZE BLDG. SIZE

VALUATION 9,000.00 FOOTAGE

OCCUPANCY GROUP USE ZONE

TYPE CONSTR. FIRE ZONE

SETBACK-FRONT REAR SIDE

CURBING required TYPE V-CEMENT

DATE REC. 1-31-74 DATE APP. 1-31-74

APPROVED BY Joe Palomino, lg

SPECIAL NOTES:

OWNER-BUILDER CONTRACTOR

I certify that in the performance of the work for which this permit is issued I shall not employ any person in violation of the workmen's compensation laws of California.
I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State laws applicable.

Signed: Beryl Hartgraves

FEES: PLAN CK BUILDING \$41.00

TOTAL OF ALL FEES

NOTICE TO CONTRACTORS & SUB-CONTRACTORS

Final inspection of this job may be withheld until all contractors or sub-contractors having performed work under the above building permit have signed this card below as having valid Coachella business licenses.

GRADING _____
SEWERS _____
FRAMING _____
ROOFING _____
PLUMBING _____
LATHING _____
FLOORING _____
TILES _____
PAVING _____
PAINTING _____
OTHER _____
CEMENT _____
MASONRY _____
ELECTRIC _____
HEATING 2517

PLASTERING _____
CABINETS _____
GLAZING _____
SHEET METAL _____
INSULATION _____
OTHER _____

INSPECTION RECORD

EXCAVATION & SETBACKS:
Pour no concrete until signed here. INT. DATE

SETBACKS: _____
FOOTINGS _____
FORMS OR STEEL _____

CONCRETE SLAB FLOOR:
Do not pour until signed

ELECTRIC Gnrwk _____
PLUMBING Gnrwk _____
SEAS HEIGHT _____
ELECT GROUND _____
CRUSHED ROCK _____

ROUGH INSPECTIONS:
Cover no work until signed

ELECTRIC _____
PLUMBING _____
T & P VALVE _____
GAS LINES _____
A/C & HEATING _____
ATTIC ACCESS _____
ATTIC VENTS _____
GARAGE VENTS _____
FRAMING _____
ROOF NAILING _____
OTHER: _____

SPECIAL INSPECTION:
Cover no work until signed

INSULATION _____

LATH & PLASTER:
Cover no work until signed

EXT. LATH _____
INT. LATH _____
SHOWER BACKING _____
CORNER BEAD _____
VENEER ANCHORS _____

FINISH INSPECTION:
Do not occupy until signed

ELECTRICAL _____
PLUMBING _____
GAS _____
A/C & HEATING _____
BUILDING _____
SEWAGE _____
CURBING _____
PARKING _____
DOOR CLOSER _____
T & P VALVE _____
OTHER: _____

AIR CONDITIONING PERMIT

AMOUNT	CLASSIFICATION	
	PERMIT	
	APPLIANCES	
	AIR DUCTS	
	VENTS	
	VENT DUCTS	
	COMPRESSORS	
	COILS	
	TOWERS	
	COOLERS	
	PRE-COOLERS	
	SPECIAL INSP	
	OTHER:	
TOTAL FEE		

Special Notes: _____

ELECTRICAL PERMIT

AMOUNT	CLASSIFICATION	FEE
	PERMIT	
	SERVICE	
	ONE CENT RATE	
	1/2 CENT RATE	
	FIXTURES	
	GENERATORS	
	APPLIANCES	
	MISC.	
	MOTORS	
	OUTLETS	
	SIGNS	
	CONSTR POLE	
	TRANSFORMERS	
	ANNUAL PERMIT	
	SPECIAL INSP	
	OTHER:	
TOTAL FEE		

Special Notes: _____

PLUMBING PERMIT

AMOUNT	CLASSIFICATION	FEE
	PERMIT	
	FIXTURES	
	SEWER	
	PRIVATE SEWER	
	WATER HEATER	
	GAS PIPING	
	WATER PIPING	
	DRAINAGE	
	SPRINKLERS	
	OTHER:	
TOTAL FEE		

Special Notes: _____

Item 2.

BUILDING PERMIT No. 2700

CITY OF COACHELLA, CALIFORNIA

Phone: (714) 398-0111 398-6131

603-232-009

OWNER Beryl Hartgraves
49-305 Hwy 74, Palm Desert, Calif.
 CONTRACTOR Bailey and Sons

JOB ADDRESS 84-801 Avenue 48
 LOT BLK TRACT
 ARCHITECT
 ENGINEER Walter H. Preston C. E. 7195

PURPOSE OF PERMIT storage

PLAN CK 250 SPECIAL INSP
 AIR COND PLUMB yes ELECT yes
 LOT SIZE BLDG. SIZE 2,460 sq. ft.
 VALUATION 810,500 FOOTAGE
 OCCUPANCY GROUP 0 USE ZONE H-II
 TYPE CONSTR V FIRE ZONE 2
 SETBACK FRONT REAR SIDE
 CURBING required TYPE V. CEMENT yes
 DATE REC 5-15-74 DATE APP 4-29-74

APPROVED BY Joe Palomino
 SPECIAL NOTES:

OWNER-BUILDER CONTRACTOR
 I certify that in the performance of the work for which this permit is issued I shall not employ any person in violation of the workmen's compensation laws of California.
 I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State laws applicable.

Signed:
 FEES: PLAN CK 23.50 BUILDING 47.00
 TOTAL OF ALL FEES \$90.80

NOTICE TO CONTRACTORS & SUB-CONTRACTORS

Final inspection of this job may be withheld until all contractors or sub-contractors having performed work under the above building permit have signed this card below as having valid Coachella business licenses.

- GRADING
- SEWERS
- FRAMING
- ROOFING
- PLUMBING
- LATHING
- FLOORING
- TILES
- PAVING
- PAINTING
- OTHER
- MENT
- MASONRY
- ELECTRIC
- HEATING 2700
- PLASTERING
- CABINETS
- GLAZING
- SHEET METAL
- INSULATION
- OTHER:

INSPECTION RECORD

EXCAVATION & SETBACKS:
 Pour no concrete until signed here. INT. DATE.

SETBACKS
 FOOTINGS
 FORMS OR STEEL

CONCRETE SLAB FLOOR:
 Do not pour until signed

ELECTRIC Gnrwk.
 PLUMBING Gnrwk.
 SLAB HEIGHT
 ELECT GROUND
 CRUSHED ROCK

ROUGH INSPECTIONS:
 Cover no work until signed

ELECTRIC
 PLUMBING
 T & P VALVE
 GAS LINES
 A/C & HEATING
 ATTIC ACCESS
 ATTIC VENTS
 GARAGE VENTS
 FRAMING
 ROOF NAILING
 OTHER:

SPECIAL INSPECTION:
 Cover no work until signed

INSULATION

LATH & PLASTER
 Cover no work until signed

EXT. LATH
 INT. LATH
 SHOWER BACKING
 CORNER BEAD
 VENEER ANCHORS

FINISH INSPECTION:
 Do not occupy until signed

ELECTRICAL
 PLUMBING
 GAS
 A/C & HEATING
 BUILDING
 SEWAGE
 CURBING
 PARKING
 DOOR CLOSER
 T & P VALVE
 OTHER:

AIR CONDITIONING PERMIT

AMOUNT	CLASSIFICATION	Item 2.
	PERMIT	
	APPLIANCES	
	AIR DUCTS	
	VENTS	
	VENT DUCTS	
	COMPRESSORS	
	COILS	
	TOWERS	
	COOLERS	
	PRE-COOLERS	
	SPECIAL INSP	
	OTHER:	
	TOTAL FEE	

Special Notes:

ELECTRICAL PERMIT

AMOUNT	CLASSIFICATION	FEE
	PERMIT	
	SERVICE	3.00
	ONE CENT RATE	
	1/2 CENT RATE	12.50
	FIXTURES	
	GENERATORS	
	APPLIANCES	
	MISC.	
	MOTORS	
	OUTLETS	
	SIGNS	
	CONSTR POLE	
	TRANSFORMERS	
	ANNUAL PERMIT	
	SPECIAL INSP	
	OTHER:	15.30
	TOTAL FEE	

Special Notes:

PLUMBING PERMIT

AMOUNT	CLASSIFICATION	FEE
	PERMIT	2.00
	FIXTURES	
	SEWER	
	PRIVATE SEWER	
	WATER HEATER	
	GAS PIPING	1.50
	WATER PIPING	1.50
	DRAINAGE	
	SPRINKLERS	
	OTHER:	
	TOTAL FEE	5.00

Special Notes:

City of Coachella

1515 Sixth Street Coachella, California 92236 Phone: 398-3002

APPLICATION AND PERMIT

No 1142 Item 2

Owner Auto Parts and Salvage Address 3121 W. Coast Hwy. NR. 92283
 Job Address 84-801 Avenue 48 Tract _____ Lot _____
 Description of Work Warehouse
 SPECIAL CONDITIONS Separate permits for Electrical, and Mechanical, & Plumbing.
 Contractor _____ State Lic. No. _____ City Lic. No. _____
 Address _____ Phone 345-4700
 Workers Compensation Insurer _____ Address _____
 Compensation Insurance Exemption On File Construction Lender _____

Date Feb 4 19 88
 FIRE ZONE 4 USE ZONE _____
 OCCUPANCY B-2 CONST. TYPE VN
 SO. FT. 5000 GARAGE 0
 COUNTY ASSESSOR'S NUMBER
603-231-000

PLUMBING AND/OR MECHANICAL			ELECTRICAL			BUILDING, SIGN AND/OR GRADING		
Contractor			Contractor			Est. Cost of Bldg. <u>\$100,000.00</u>		
QTY.	ITEM	AMOUNT	QTY.	ITEM	AMOUNT	DESCRIPTION	AMOUNT	
	Permit			Permit		Building Permit Fee	<u>639.50</u>	<u>639.50</u>
	Plumbing Fixtures			Service Amp.		Sign Permit Fee		
	Sewer Connection			Fixtures		Grading Permit Fee		
	Water System			Outlets & Switches		Plan-Check Fee <u># 88-001 415.68</u>	<u>415.68</u>	<u>415.68</u>
	Gas System			New Building		OTHER		
				Temporary Power				
				One Cent Rate		Water Connection Fee		<u>1,500.00</u>
				1/2 Cent Rate		Water Meter has been paid for		
	Total Plumbing					New Construction Tax <u>1%</u>		<u>1,000.00</u>
	Mechanical Permit							
	Heating Unit					TOTAL FEES PAYABLE		<u>3,555.18</u>
	Airconditioning Unit							
	Range Hood							
	Total Mechanical							
	TOTAL			TOTAL ELECT.				

CERTIFICATION APPEARING ON APPLICATIONS
 I have carefully examined the above completed "Application and Permit," and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued to comply with all City, County and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granting of this permit.

Applicant's Signature

OWNER CONTRACTOR AGENT

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications. Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days.

H.C. [Signature]
 Building Planning

City of Coachella

APPLICATION AND PERMIT

1515 Sixth Street Coachella, California 92236 Phone: 398-3002

Nº 1142

Owner Auto Parts and Salvage Address 3121 N. Coast Hwy. HB. 92283

Job Address 84-801 Avenida 48 Tract _____ Lot _____

Description of Work Warehouse

SPECIAL CONDITIONS Separate permits for Electrical, and Mechanical, & Plumbing.

Contractor _____ State Lic. No. _____ City Lic. No. _____

Address _____ Phone 345-4700

Workers Compensation Insurer _____ Address _____

Compensation Insurance Exemption On File Construction Lender _____

Date Feb. 4, 19 88

FIRE ZONE 4 USE ZONE _____

OCCUPANCY B-2 CONST. TYPE VII

SQ. FT. 5000 GARAGE 0

COUNTY ASSESSOR'S NUMBER
603-231-009

BUILDING	APPROVAL	INSPECTOR
	Date	
Set Backs		
Foundations		<i>E. Martinez</i>
Steel Frame	<i>7/12/88</i>	<i>L. Sanchez</i>
Insulation		
Dry Wall		
Lath		
Roof Nailing		
Bond Beam		
Final	<i>7/12/88</i>	<i>L. Sanchez</i>

PLUMBING	APPROVAL	INSPECTOR
	Date	
Rough		
Wet Test		
Sewer		
Piping		
Pressure		
Gas		
Service		

ELECTRIC	APPROVAL	INSPECTOR
	Date	
Rough		
Grounding		
Outlets		
Fixtures		
Service		
Sub Feed		

NOTICE

Inspections will be made by appointment when each phase is ready for inspection. This permit will become null and void if construction work is not started within 180 days from date of permit, or if the same period lapses between inspections. Work that is concealed or completed without inspection may be rejected. Any deviation from approved plans must be authorized **IN WRITING.**

NOTICE TO CONTRACTORS
 Final Inspections and Certificate of Completion or Occupancy must be obtained before occupying or using a building.
TACK THIS CARD IN CONSPICUOUS PLACE ON BUILDING.
CALL FOR INSPECTION (24 HOURS IN ADVANCE) - Phone: 398-3002

APPLICATION AND PERMIT

City of Coachella

1515 Sixth Street

Coachella, California 92236

Phone: (619) 398-3002

2773

Item 2.

Owner Teresa Hernandez Address 84-801 Ave. 48, Coachella

Job Address 84-801 Ave. 48 Tract _____ Lot _____

Description of Work Install 4' x 6' plywood sign

SPECIAL CONDITIONS _____

Contractor Owner/Builder State Lic.No. _____ City Lic. No. _____

Address _____ Phone 398-8840

Workers Compensation Insurer _____ Address _____

Compensation Insurance Exemption On File

Construction Lender _____

Date 2/11 19 97

FIRE ZONE _____ USE ZONE _____

OCCUPANCY _____ CONST. TYPE _____

SQ. FT. _____ GARAGE _____

COUNTY ASSESSOR'S NUMBER _____

SITE	DATE	INSPECTOR
Toilet Facility		
Construction Trailer		
BUILDING		
Fndn: Locatn, Forms		
Set Back, Grade		
Reinforcement		
Uler Ground		
Slab: Grade, Rein.		
Bond Beam & Grout		
POUR NO CONCRETE UNTIL SIGNED ABOVE		
Roof Deck/Trusses		
Pre-Wrap		
Frame: Fire stops		
Shear Bracing, Bolts		
Hold Downs		
Insulation		
Lath: Int		
Dry Wall		
Lath: Ext.		

MECHANICAL	DATE	INSPECTOR
FAU, AC, Boiler, W/H		
Comb. Air & Venting		
Circ. Air ducts, Etc.		
Location Clearance, Access		
Duct Insulation		
Fireplace Installation		
PLUMBING		
Under Slab Work		
Rough Plumbing		
Rough Gas Piping		
Wet Test		
Bldg. Sewer		
Septic Sys, Drain Field		
Gas Line Test		
Grease Trap		
Gas Release		

ELECTRICAL	DATE	INSPECTOR
Temp. Power		
Under Slab Work		
Rough Conduit		
Rough Wiring		
Grounding		
Service		
Electric Release		
FINAL APPROVALS		
Plumbing Fixtures		
Mechanical		
Gas Piping		
Electrical, Smoke Det.		
Disabled Access		
ENERGY		
Insulation Cert. (Res)		
Installation Cert. (Res)		
Glazing		

OCCUP. APPROVALS
Planning Division
Date:
By:
Engineering Division
Date:
By:
Fire Prevention
Date:
By:
Water Division
Date:
By:
Sanitation Division
Date:
By:
Building Department
Date:
By:

NOTICE TO CONTRACTORS

Final Inspections and Certificate of Completion or Occupancy must be obtained before occupying or using a building.

TACK THIS CARD IN CONSPICUOUS PLACE ON BUILDING.
CALL FOR INSPECTION (24 HOURS IN ADVANCE)- Phone: 398-3002

APPROVED

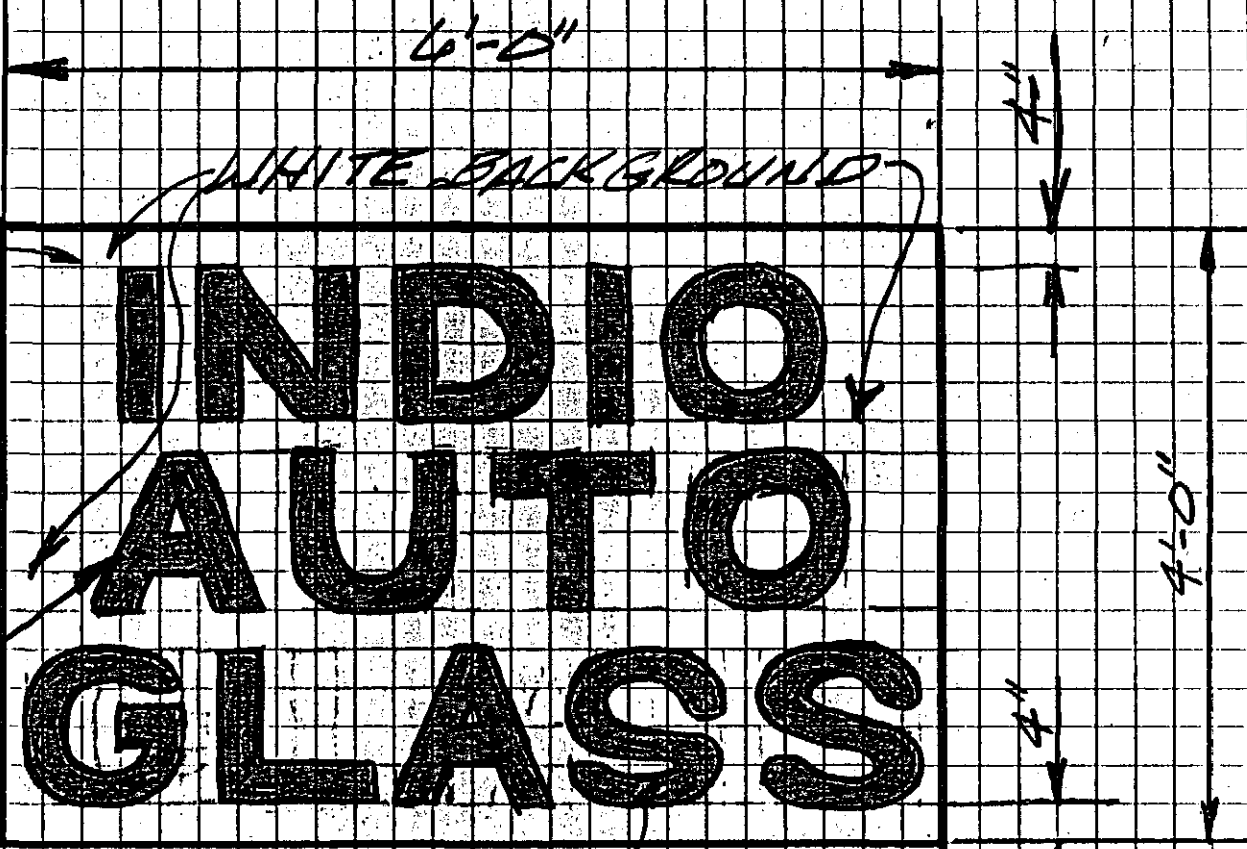
DEPT. INITIALS DATE

BUILDING REP 2/17/87

PLANNING CEP 2/19/87

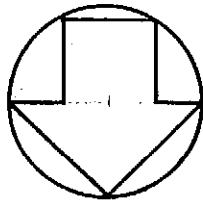
ENGINEERING _____

PROPOSED
5/8" FLY W.D.
WEATHER
TREATED

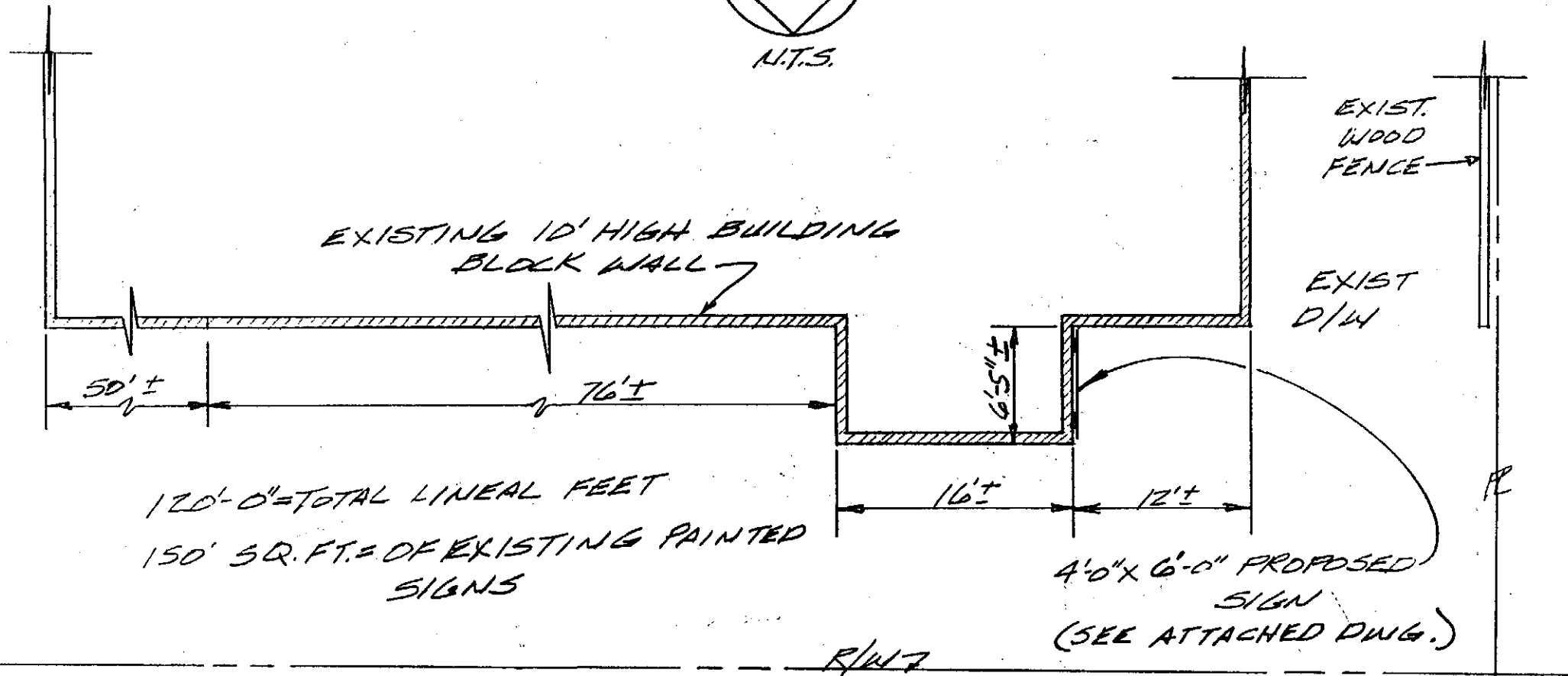


RED LETTERS
WITH BLACK
OUTLINE

PROPOSED
SIGN



N.T.S.



REMOVE EXISTING 4'-0" X 8'-0" SIGN

APPLICATION AND PERMIT

City of Coachella

1515 Sixth Street

Coachella, California 92236

Phone: (760) 398-3002

7936

Item 2.

Morales Auto Repair Shop

Owner Marcelo Morales Address _____

Job Address 84-801 Avenue 48 Tract _____ Lot _____

Description of Work Construct Block Wall 200 lin. ft. @ 8 ft. high. on side yard.

SPECIAL CONDITIONS

Contractor Owner/Builder State Lic.No. _____ City Lic. No. _____

Address _____ Phone 760-899-3395 Cell Phone

Workers Compensation Insurer _____ Address _____

Compensation Insurance Exemption On File Construction Lender _____

Date 11/2 20 04

FIRE ZONE _____ USE ZONE _____

OCCUPANCY _____ CONST. TYPE _____

SQ. FT. _____ GARAGE _____

COUNTY ASSESSOR'S NUMBER _____

PLUMBING AND/OR MECHANICAL			ELECTRICAL			BUILDING, SIGN AND/OR GRADING		
Contractor _____			Contractor _____			Est. Cost of Bldg. <u>\$3,600.00</u>		
QTY.	ITEM	AMOUNT	QTY.	ITEM	AMOUNT	DESCRIPTION		AMOUNT
	Permit			Permit		Building Permit Fee		97 25
	Plumbing Fixtures			Service Amp.		Sign Permit Fee		
	Sewer Connection			Fixtures		Grading Permit Fee		
	Water System			Outlets & Switches		Plan Check Fee		63 21
	Gas System			New Building		OTHER		
				Temporary Power		S.M.I.		50
				One Cent Rate		New Construction Tax		
				½ Cent Rate		TOTAL FEES PAYABLE		160 96
	Total Plumbing							
	Mechanical Permit							
	Heating Unit							
	Air Conditioning Unit							
	Range Hood							
	Total Mechanical			TOTAL ELECT.				
	TOTAL							

CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed 'Application and Permit' and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued to comply with all City, County and State laws governing building construction, whether specified herein or not; and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granting of this permit.

Applicant's Signature

OWNER CONTRACTOR AGENT

P.E. [Signature]
Building

[Signature]
Planning

APPLICATION AND PERMIT

City of Coachella 1515 Sixth Street

Coachella, California 92236

Phone: (760) 398-3002

7936

Item 2.

Morales Auto Repair Shop

Owner Marcelo Morales Address _____
 Job Address 84-801 Avenue 48 Tract _____ Lot _____
 Description of Work Construct Block Wall 200 lin. ft. @ 8 ft. high.

Date 11/2 20 09
 FIRE ZONE _____ USE ZONE _____
 OCCUPANCY _____ CONST. TYPE _____
 SQ. FT. _____ GARAGE _____
 COUNTY ASSESSOR'S NUMBER _____

SPECIAL CONDITIONS _____
 Contractor Owner/Builder State Lic. No. _____ City Lic. No. _____
 Address _____ Phone 760-899-3395 Cell Phone
 Workers Compensation Insurer _____ Address _____
 Compensation Insurance Exemption On File Construction Lender _____

SITE	DATE	INSPECTOR
Toilet Facility		
Construction Trailer		
BUILDING		
Fndn: Locatn, Form	<u>11/8/09</u>	<u>[Signature]</u>
Set Back, Grade	<u>11/8/09</u>	<u>[Signature]</u>
Reinforcement		
Uler Ground		
Slab: Grade, Rein.		
Bond Beam & Groul	<u>11-17-09</u>	<u>[Signature]</u>
POUR NO CONCRETE UNTIL SIGNED ABOVE		
Roof Deck/Trusses		
Pre-Wrap		
Frame: Fire stops		
Shear Bracing, Bolts		
Hold Downs		
Insulation		
Lath: Int		
Dry Wall		
Lath: Ext.		

MECHANICAL	DATE	INSPECTOR
FAU, AC, Boiler, W/H		
Comb. Air & Venting		
Circ. Air ducts, Etc.		
Location Clearance, Access		
Duct Insulation		
Fireplace Installation		
PLUMBING		
Under Slab Work		
Rough Plumbing		
Rough Gas Piping		
Wet Test		
Bldg. Sewer		
Septic Sys, Drain Field		
Gas Line Test		
Grease Trap		
Gas Release		

ELECTRICAL	DATE	INSPECTOR
Temp. Power		
Under Slab Work		
Rough Conduit		
Rough Wiring		
Grounding		
Service		
Electric Release		
FINAL APPROVALS		
Plumbing Fixtures		
Mechanical		
Gas Piping		
Electrical, Smoke Det.		
Disabled Access		
ENERGY		
Insulation Cert. (Res)		
Installation Cert. (Res)		
Glazing		

OCCUP. APPROVALS
Planning Division
Date:
By:
Engineering Division
Date:
By:
Fire Prevention
Date:
By:
Water Division
Date:
By:
Sanitation Division
Date:
By:
Building Department
Date:
By:

NOTICE TO CONTRACTORS
 Final Inspections and Certificate of Completion or Occupancy must be obtained before occupying or using a building.

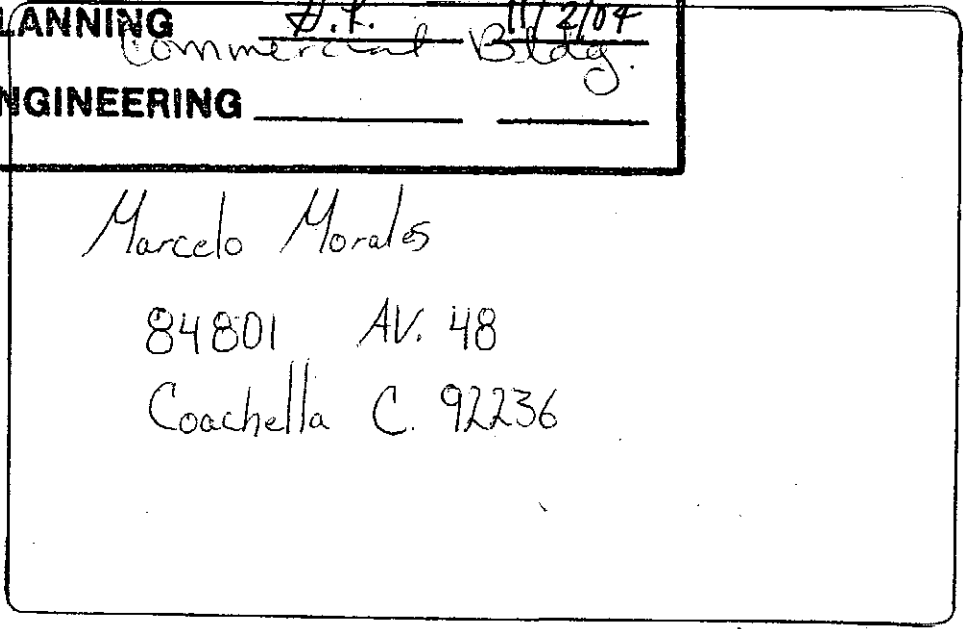
TACK THIS CARD IN CONSPICUOUS PLACE ON BUILDING.
 CALL FOR INSPECTION (24 HOURS IN ADVANCE)- Phone: 398-3002



India Blk

Item 2.

APPROVED		
DEPT.	INITIALS	DATE
BUILDING	MP	11-02-07
PLANNING	J.P.	11/2/07
ENGINEERING		



Marcelo Morales
 84801 Av. 48
 Coachella C. 92236

Existing Fence

200' Block wall 8' High

14'

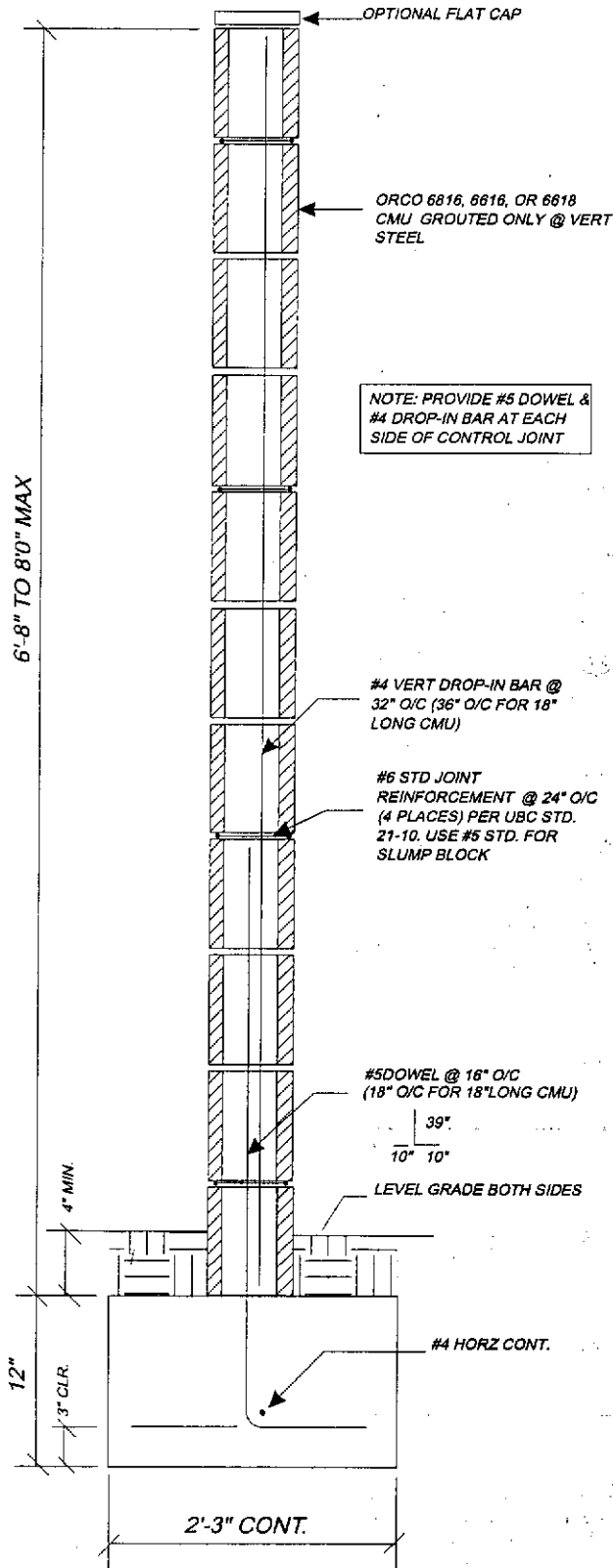
14'

Diagon AV

AV. 48

Office Copy

8' HIGH WALL SYSTEM SITE WALL FOR 70 MPH WIND @ EXPOSURE C



DESIGN CRITERIA:

1. ALLOWABLE SOIL BEARING PRESSURE = 1500 PSF
2. ALLOWABLE LATERAL PASSIVE PRESSURE = 150 PCF
3. CONCRETE/GROUT STRENGTH = 2000 PSI @ 28 DAYS.
4. REINFORCING STEEL : GRADE 40 FOR #4 BARS AND SMALLER & GRADE 60 FOR #5 AND LARGER
5. SEISMIC - ZONE 4, 5 KM FROM TYPE A OR B SOURCE.
6. 1500 PSI MASONRY COMPRESSION STRENGTH.
HALF STRESSES USED - NO SPECIAL INSPECTION REQD.

NOTES:

1. CONCRETE BLOCK SHALL CONFORM TO UBC STD. 21-4. ORCO STD. PRECISION, SPLIT FACE, SLUMPED, OR WEDGELOCK BLOCK MAY BE USED
2. CONCRETE FOR FOOTING SHALL BE 1 PART CEMENT TO 2-1/2 PARTS SAND TO 3-1/2 PARTS GRAVEL WITH A MAXIMUM OF 1-1/2 GALLONS OF WATER PER SACK. PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 TYPE I/IV. $F_c = 2000$ PSI
3. REINFORCING STEEL SHALL BE DEFORMED AND CONFORM TO ASTM A 615 GRADE 40 FOR #4 BARS AND SMALLER, GRADE 60 FOR #5 AND LARGER. PROVIDE 40 BAR DIAMETER LAP FOR GRADE 40 REBAR AND 48 BAR DIAMETER LAP FOR GRADE 60.
4. REBAR SHALL BE CENTERED IN THE CONCRETE BLOCK CELL IN WHICH IT IS LOCATED.
5. CONCRETE BLOCK SHALL BE LAYED IN A RUNNING BOND PATTERN WITH VERTICAL CONTINUITY OF THE CELLS UNO.
6. ALL BLOCK CELLS CONTAINING VERTICAL REBAR SHALL BE SOLID GROUTED.
7. USE OBP TYPE S MORTAR PROPORTIONED USING UBC TABLE NO. 21-A. 1 PART CEMENT TO 1/2 PART LIME TO 4-1/2 PARTS DAMP, LOOSE SAND.
8. GROUT FOR CONCRETE BLOCK TO BE 1 PART CEMENT TO 3 PARTS SAND (GROUT MAY CONTAIN 2 PARTS 3/8" PEA GRAVEL IF WEATHER CONDITIONS ARE FAVORABLE AND BLOCK UNOBSTRUCTED CELL SIZE IS SUFFICIENT TO ALLOW GOOD GROUT FLOW). WATER SHALL BE ADDED TO PRODUCE GOOD GROUT FLOW WITHOUT SEGREGATION OF THE CONSTITUENTS.
9. BLOCK STEM MAY BE WET-SET 1-1/2" INTO THE FOOTING WHILE THE CONCRETE IS PLASTIC. BLOCK STEM MAY BE PLACED TO EITHER EDGE OF THE TRENCH TYPE FOOTING.
10. FOOTING MUST BE POURED ON OR INTO UNDISTURBED NATURAL SOIL OR ON COMPACTED FILL WITH A MINIMUM COMPACTION OF 90%.
11. FIRST INSPECTION TO BE AFTER FOOTING TRENCHES ARE READY FOR CONCRETE AND ALL REQUIRED STEEL IS TIED IN PLACE. SECOND INSPECTION TO BE WHEN THE REQUIRED VERTICAL IS IN PLACE AND THE BLOCK WALL IS READY TO GROUT.
12. MAXIMUM CONTROL JOINT SPACING: 40' O/C OR 20' O/C IF THE WALL IS TO BE STUCCO COATED.



**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



PERMIT NO.: **BL-2005-04-00145**

Item 2.

USE ZONE: General Commercial

OCCUPANCY: CONSTR TYPE: SQ FT:

Inspection Request Require 24 Hour Notice
(760) 398-3002

Project Address: 84801 AVENUE 48
COACHELLA CA 92236

Project Valuation: \$ 23,930.00

PARCEL #: 603232025

LOT #: 1

Applicant's Name: MARCEL MORALES

TRACT #: 0.00

Owner's Name: MARCEL MORALES

Owner's Address: 84801 AVENUE 48
COACHELLA CA 92236

Phone: (760) 391-5278

Fax:

Contractor's Name:

Phone:

Contractor's Address:

Fax:

Business Lic:

State Licence:

Contact Phone:

Contact Person:

Project Name:

Permit Type: FENCE

Description of Work: CONSTRUCT BLOCK WALL 2,393 LIN. FT. 2 FT. HIGH (TOTAL HEIGHT OF BLOCK WALL IS 8 FT. HIGH) SEE ADDITIONAL HEIGHT OF WALL WITH PERMIT BL-2005-04-00144

Condition:

FEE(S):			
BUILDING FENCE	\$377.25	Plan Check Fees	\$245.21
Strong Motion Instrumentation	\$5.03		
		Total Fees:	\$627.49

CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is

(Applicant Signature)

[Handwritten Signature]
 Building
 Planning
 4/20/05

**CITY OF COACHELLA
INSPECTION LIST
COMMUNITY & DEVELOPMENT SERVICES**



PERMIT NO.: **BL-2005-04-00145**
USE ZONE.: General Commercial
OCCUPANCY: CONSTR TYPE: SQ FT:

Item 2.

Inspection Request Require 24 Hour Notice
(760) 398-3002

Project Address: 84801 AVENUE 48
COACHELLA CA 92236

Project Valuation: \$ 23,930.00
PARCEL #: 603232025
LOT #: 1
TRACT #: 0.00

Applicant's Name: MARCEL MORALES
Owner's Name: MARCEL MORALES
Owner's Address: 84801 AVENUE 48
COACHELLA CA 92236

Phone: (760) 391-5278
Fax:

Contractor's Name: Phone:
Contractor's Address: Fax:
Business Lic:
State Licence:
Contact Person: Contact Phone:

Project Name: FENCE
Permit Type: FENCE
Description of Work: CONSTRUCT BLOCK WALL 2,393 LIN. FT. 2 FT. HIGH (TOTAL HEIGHT OF BLOCK WALL IS 8 FT. HIGH)
SEE ADDITIONAL HEIGHT OF WALL WITH PERMIT BL-2005-04-00144
Condition:

BUILDING	Date	INSPECTOR	MECHANICAL	Date	INSPECTOR	ELECTRICAL	Date	INSPECTOR
Toilet Facility			FAU, AC, W/H			Temp. Power		
Construction Trailer			Comb, Air & Venting			Under Slab Work		
BUILDING			Circ. Air ducts, Etc.			Rough Conduit		
Fndn: Locatn, Forms Set Back, Grade			Location Clearance Access			Rough Wiring Grounding		
Reinforcement			Duct Insulation			Service		
Uler Ground			Fireplace Installation			Electric Release		
Slab: Grade, Rein.								
Bond Beam & Grout						FINAL APPROVALS		
POUR NO CONCRETE UNTIL SIGNED ABOVE			PLUMBING			Plumbing Fixtures		
Roof Deck/Trusses			Under Slab Work			Mechanical		
Pre-Wrap			Rough Plumbing			Gas Piping		
Frame: Fire stops Shear Bracing, Bolts			Rough Gas Piping			Electrical, Smoke Det.		
Hold Downs			Wet Test			Disabled Access		
Insulation			Bldg. Sewer			ENERGY		
Lath: Int			Septic Sys, Drain Field			Insulation Cert. (Res.)		
Dry Wall			Gas Line Test			Installation Cert. (Res.)		
Lath: Ext.			Grease Trap			Glazing		
			Gas Release					

OCCUP. APPROVALS					
Planning Division	Engineering Division	Fire Prevention	Water Division	Sanitation Division	Building Division
Date:	Date:	Date:	Date:	Date:	Date:
By:	By:	By:	By:	By:	By:

FOOTINGS, COMPLETE WEST + SOUTH WALLS 200' of EAST 4-28-05 JRL

NOTICE TO ALL CONTRACTORS
Final Inspections and Certificate of Completion or Occupancy must be obtained before occupying or using a building.
TACK THIS CARD IN CONSPICUOUS PLACE ON BUILDING
CLAL FOR INSPECTION (24 HOURS IN ADVANCE) Phone: 398-3002

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



PERMIT NO.: **BL-2005-04-00144**

Item 2.

USE ZONE: General Commercial

OCCUPANCY: CONSTR TYPE: SQ FT:

Inspection Request Require 24 Hour Notice
(760) 398-3002

Project Address: 84801 AVENUE 48
COACHELLA CA 92236

Project Valuation: \$ 43,074.00

PARCEL #: 603232025

LOT #: 1

Applicant's Name: MARCEL MORALES
Owner's Name: MARCEL MORALES
Owner's Address: 84801 AVENUE 48
COACHELLA CA 92236

TRACT #: 0.00

Phone: (760) 391-5278

Fax:

Contractor's Name:
Contractor's Address:

Phone:

Fax:

Business Lic:

State Licence:

Contact Phone:

Contact Person:

Project Name:

Permit Type: FENCE

Description of Work: CONSTRUCT BLOCK WALL 2,393 LIN. FT. @ 6 FT. HIGH (TOTAL HEIGHT OF BLOCK WALL IS 8 FT. HIGH) SEE ADDITIONAL HEIGHT OF WALL WITH PERMIT BL-2005-04-00145

Condition:

FEE(S):			
BUILDING FENCE	\$583.65	Plan Check Fees	\$379.37
Strong Motion Instrumentation	\$9.05		
		Total Fees:	\$972.07

CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is

(Applicant Signature)

Building

Planning

**CITY OF COACHELLA
INSPECTION LIST
COMMUNITY & DEVELOPMENT SERVICES**



PERMIT NO.: **BL-2005-04-00144**
 USE ZONE.: General Commercial
 OCCUPANCY: CONSTR TYPE: SQ FT:

Item 2.

Inspection Request Require 24 Hour Notice
(760) 398-3002

Project Address: 84801 AVENUE 48
COACHELLA CA 92236

Project Valuation: \$ 43,074.00
 PARCEL #: 603232025
 LOT #: 1
 TRACT #: 0.00

Applicant's Name: MARCEL MORALES
 Owner's Name: MARCEL MORALES
 Owner's Address: 84801 AVENUE 48
COACHELLA CA 92236

Phone: (760) 391-5278
 Fax:

Contractor's Name:
 Contractor's Address:

Phone:
 Fax:
 Business Lic:
 State Licence:
 Contact Phone:

Contact Person:

Project Name: FENCE
 Permit Type: FENCE
 Description of Work: CONSTRUCT BLOCK WALL 2,393 LIN. FT. @ 6 FT. HIGH (TOTAL HEIGHT OF BLOCK WALL IS 8 FT. HIGH)
 Condition: SEE ADDITIONAL HEIGHT OF WALL WITH PERMIT BL-2005-04-00145

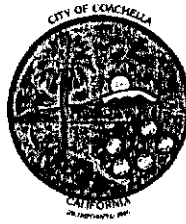
BUILDING	Date	INSPECTOR	MECHANICAL	Date	INSPECTOR	ELECTRICAL	Date	INSPECTOR
Toilet Facility			FAU, AC, W/H			Temp. Power		
Construction Trailer			Comb, Air & Venting			Under Slab Work		
BUILDING			Circ. Air ducts, Etc.			Rough Conduit		
Fndn: Locatn, Forms			Location Clearance			Rough Wiring		
Set Back, Grade			Access			Grounding		
Reinforcement			Duct Insulation			Service		
Uler Ground			Fireplace Installation			Electric Release		
Slab: Grade, Rein.								
Bond Beam & Grout						FINAL APPROVALS		
POUR NO CONCRETE UNTIL SIGNED ABOVE			PLUMBING			Plumbing Fixtures		
Roof Deck/Trusses			Under Slab Work			Mechanical		
Pre-Wrap			Rough Plumbing			Gas Piping		
Frame: Fire stops			Rough Gas Piping			Electrical, Smoke Det.		
Shear Bracing, Bolts			Wet Test			Disabled Access		
Hold Downs			Bldg. Sewer			ENERGY		
Insulation			Septic Sys, Drain Field			Insulation Cert. (Res.)		
Lath: Int			Gas Line Test			Installation Cert. (Res.)		
Dry Wall			Grease Trap			Glazing		
Lath: Ext.			Gas Release					

OCCUP. APPROVALS					
Planning Division	Engineering Division	Fire Prevention	Water Division	Sanitation Division	Building Division
Date:	Date:	Date:	Date:	Date:	Date:
By:	By:	By:	By:	By:	By:

FOOTINGS, Complete WEST + SOUTH WALLS. 200' of EAST 4-28-05 918

NOTICE TO ALL CONTRACTORS
 Final Inspections and Certificate of Completion or Occupancy must be obtained before occupying or using a building.
 TACK THIS CARD IN CONSPICUOUS PLACE ON BUILDING
 CLAL FOR INSPECTION (24 HOURS IN ADVANCE) Phone: 398-3002

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



DATE: 12/12/2013
PERMIT NO: BL-2013-07-09818
USE ZONE: Manufacturing Services

Item 2.

Inspection Request Require 24 Hour Notice
(760) 398-3002

OCCUPANCY: S-1 MH CONSTR TYPE: VB SQ FT: 2,400.00

Project Address: 84801 AVENUE 48
COACHELLA CA 92236

Project Valuation: \$ 124,872.00

PARCEL #: 603232025

LOT #: 1

TRACT #: 0.00

Applicant's Name: MARCEL MORALES

Owner's Name: MARCEL MORALES

Owner's Address: 84801 AVENUE 48
COACHELLA CA 92236

Phone: (760) 391-5278

Fax:

Contractor's Name:

Phone:

Contractor's Address:

Fax:

Business Lic:

State Licence:

Contact Person:

Contact Phone:

Project Name:

Permit Type: MASTER BUILDING PERMIT

Description of Work: REPLACE EXISTING WAREHOUSE WITH NEW METAL WAREHOUSE 2,400 SQ.FT. IN EXISTING
Condition: MANUFACTURING WRECKING PROPERTY (REISSUED PERMIT 12/12/13)

FEE(S):

BUILDING PERMIT FEES	\$1,135.00	Certificate of Occupancy Fee	\$256.00	General Gov Facilities Fee	\$55.83
Police Facilities Fee	\$7.26	Fire Facilities Fee	\$119.14	Streets & Transportation	\$1,798.65
Public Arts Impact Fee	\$312.18	Fire Dept. Developers Fee	\$140.00	1% Construction Tax	\$1,248.72
PLAN CHECK FEE	\$747.00	Strong Motion Instrumentation	\$26.22	Senate Bill 1473	\$6.00

TOTAL FEES: \$ 5,852.00

CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

[Handwritten Signature]
(Applicant Signature)

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is

[Handwritten Signature] 12/12/13
Building

Planning

**CITY OF COACHELLA
INSPECTION LIST
COMMUNITY & DEVELOPMENT SERVICES**



ISSUE DATE:
 PERMIT NO: **BL-2013-07-09818**
 USE ZONE.: Manufacturing Services
 OCCUPANCY: CONSTR TYPE: SQ FT:
 S-1 MH VB 2400

Inspection Request Require 24 Hour Notice
 (760) 398-3002

Project Address: 84801 AVENUE 48
 COACHELLA CA 92236

Project Valuation: \$ 124,872.00

PARCEL #: 603232025
 LOT #: 1

Applicant's Name: MARCEL MORALES

TRACT #: 0.00

Owner's Name: MARCEL MORALES

Owner's Address: 84801 AVENUE 48
 COACHELLA CA 92236

Phone: (760) 391-5278

Fax:

Contractor's Name:

Phone:

Contractor's Address:

Fax:

Business Lic:

State Licence:

Contact Person:

Contact Phone:

Project Name: MASTER BUILDING PERMIT
 Permit Type:

Description of Work: REPLACE EXISTING WAREHOUSE WITH NEW METAL WAREHOUSE 2,400 SQ.FT. IN EXISTING
 Condition: MANUFACTURING WRECKING PROPERTY

BUILDING	Date	INSPECTOR	MECHANICAL	Date	INSPECTOR	ELECTRICAL	Date	INSPECTOR
Toilet Facility			FAU, AC, W/H			Temp. Power		
Construction Trailer			Comb, Air & Venting			Under Slab Work		
BUILDING			Circ. Air ducts, Etc.			Rough Conduit		
Fndn: Locatn, Forms Set Back, Grade	9-23-13	[Signature]	Location Clearance Access			Rough Wiring Grounding		
Reinforcement			Duct Insulation			Service		
Ufer Ground			Fireplace Installation			Electric Release		
Slab: Grade, Rein.								
Bond Beam & Grout								
POUR NO CONCRETE UNTIL SIGNED ABOVE								
Roof Deck/Trusses	12-16-13	[Signature]	PLUMBING			FINAL APPROVALS		
Pre-Wrap			Under Slab Work			Plumbing Fixtures		
Frame: Fire stops Shear Bracing, Bolts	12-16-13	[Signature]	Rough Plumbing			Mechanical		
Hold Downs			Rough Gas Piping			Gas Piping		
Insulation			Wet Test			Electrical, Smoke Det.		
Lath: Int			Bldg. Sewer			Disabled Access		
Dry Wall			Septic Sys, Drain Field			ENERGY		
Lath: Ext.			Gas Line Test			Insulation Cert. (Res.)		
			Grease Trap			Installation Cert. (Res.)		
			Gas Release			Glazing		

OCCUP. APPROVALS					
Planning Division	Engineering Division	Fire Prevention	Water Division	Sanitation Division	Building Division
Date: 12/14/13	Date:	Date: 11/22/2013	Date:	Date:	Date: 12-16-13
By: [Signature]	By:	By: KOHL HERRICK	By:	By:	By: [Signature]

NOTICE TO ALL CONTRACTORS
 Final Inspections and Certificate of Completion or Occupancy must be obtained before occupying or using a building.
 TACK THIS CARD IN CONSPICUOUS PLACE ON BUILDING
 CALL FOR INSPECTION (24 HOURS IN ADVANCE) Phone: 398-3002

Coachella Valley Unified School District
83-733 Avenue 55, Thermal, CA 92274
(760) 398-5909 – Fax (760) 398-1224

This Box For District Use Only
DEVELOPER FEES PAID

Item 2.

AREA:		AMOUNT	
LEVEL ONE AMOUNT:	LEVEL TWO AMOUNT:	MITIGATION AMOUNT:	COMM/IND. AMOUNT:
DATE:	RECEIPT:	CHECK #:	INITIALS

CERTIFICATE OF COMPLIANCE
(California Education Code 17620)

Project Name: Marcelo Morales **Date:** August 29, 2013
Owner's Name: Marcelo Morales **Phone No.** 760-766-6233
Project Address: 84801 Ave 48, Coachella, CA 92236

Project Description: Replace Existing Warehouse with New Metal Warehouse

APN: BL-2013-07-09818 **Tract #:** _____ **Lot #'s:** _____

Type of Development: Residential Commercial **XX** Industrial

Total Square Feet of Building Area: 2,400 Sq. FT

Certification of Applicant/Owners: The person signing certifies that the above information is correct and makes this statement under penalty of perjury and further represents that he/she is authorized to sign on behalf of the owner/developer.

Dated: 8/29/13 **Signature:** 

SCHOOL DISTRICT'S REQUIREMENTS FOR THE ABOVE PROJECT HAVE BEEN OR WILL BE SATISFIED IN ACCORDANCE WITH ONE OF THE FOLLOWING: (CIRCLE ONE)

Education Code 17620 **Gov. Code** 65995 **Project** Approval **Agreement Existing** Prior to 1/1/87 **Not Subject to Fee Requirement**

Number of Sq.Ft. 2,400
Amount per Sq.Ft. EXEMPT
Amount Collected 0.00

Building Permit Application Completed: Yes/No

By: Elsa F. Esqueda, Director of Facilities and Maintenance

Certificate issued by: Leticia Torres, Facilities Analyst **Signature:** 

NOTICE OF 90 DAY PERIOD FOR PROTEST OF FEES AND STATEMENT OF FEES

Section 66020 of the Government Code asserted by Assembly Bill 3081, effective January 1, 1997, requires that this District provide (1) a written notice to the project appellant, at the time of payment of school fees, mitigation payment or other exactions ("Fees"), of the 90-day period to protest the imposition of these Fees and (2) the amount of the fees. Therefore, in accordance with section 66020 of the Government code and other applicable law, this Notice shall serve to advise you that the 90-day protest period in regard to such Fees or the validity thereof, commences with the payment of the fees or performance of any other requirements as described in section 66020 of the Government code. Additionally, the amount of the fees imposed is as herein set forth, whether payable at this time or in whole or in part prior to issuance of a Certificate of Occupancy. As in the latter, the 90 days starts on the date hereof. This Certificate of Compliance is valid for thirty (30) days from the date of issuance. Extension will be granted only for good cause, as determined by the School District, and up to three (3) such extensions may be granted.



CITY OF COACHELLA

1515 SIXTH STREET, COACHELLA, CALIFORNIA 92236

PHONE (760) 398-3502 • FAX (760) 398-8117 • WWW.COACHELLA.ORG

September 30, 2013

Marcelo Morales
84-801 Avenue 48
Coachella CA 92236

**Re: Architectural Review 13-05 (Administrative)
Construction of new 2,400 sq. Ft. Steel Structure addition at 84-801 Avenue 48**

Dear Mr. Morales:

Development Services has completed an administrative review of the proposed addition to your existing auto repair facility located at the above address. The subject site is in the M-S (Manufacturing Service) zoning district and has an existing auto repair facility with office space, on-site parking, perimeter walls and improved parking driveway aisles that serve the property.

After reviewing your request along with the submitted plans, considering the agency comments, and considering the input provided by you on the final findings and conditions, your request for Architectural Review #13-05 has been **granted** by the Director. The attached Findings and Conditions have been made a part of this approval.

Pursuant to Section 17.70.080 of the Coachella Municipal Code any person aggrieved by the Director's decision may file an appeal to the Planning Commission within 15 days of the effective decision date.

Please call our office at (760)398-3102 if you have any questions regarding this matter.

Sincerely,

Luis Lopez
Development Services Director

Xc: File

ATTACHMENT A
FINDINGS FOR ARCHITECTURAL REVIEW 13-05 (Administrative)

1. The proposed 2,400 square foot addition is consistent with the goals, objectives, policies, and implementation measures of the Coachella General Plan 2020. The site is located within the Light Industrial land use designation which allows industrial and auto repair uses, and there are no proposed changes to the existing uses on the property except for the expansion of floor area. The proposed addition and exterior modifications to the existing structures will maintain an auto repair use on the property, which is consistent with the General Plan land use designation.
2. The proposed use will be located, designed, constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and shall not change the essential character of the same area. As conditioned, the proposed addition will substantially match the existing steel structure auto repair building and improve the existing industrial site with new exterior paneling to match the new addition, including new painting to be compatible with the vicinity. There are no existing sensitive uses or residences in the vicinity that would otherwise be affected by the project. The site has been used for many years for auto repair uses and this has not resulted in any observable adverse effects to the character of the general vicinity.
3. Consideration was given to harmony in scale, bulk, coverage and density, to the availability of public facilities and utilities, to harmful effect, if any, upon desirable neighborhood character, to the generation of traffic and the capacity of surrounding streets, and to any relevant impact of the development. The proposed addition to the exterior industrial building will add a new 24-foot high auto repair bay structure to the rear of the existing buildings on the site. The addition will be located approximately 125 feet from the front property line and will be architecturally treated to match the exterior appearance of existing buildings.
4. Where the proposed use may be potentially hazardous or disturbing to existing or reasonable expected neighboring uses, it must be justified by the common public interest as a benefit to the community as a whole. The Development Services Department does not anticipate any potentially hazardous or disturbing impacts on existing or neighboring uses. The proposed project is in an industrial area and there are no new environmental effects being created by the proposed addition. The added auto repair space will facilitate needed space for improved business operations and the use is required to comply with all local environmental program requirements as an auto repair facility.
5. The proposed façade renovation project is a class 1 Categorical Exemption of the California Environmental Quality Act (CEQA), pursuant to Section 15301 of the CEQA Guidelines, for "Existing Facilities." As such there is no further environmental review required under California State Law.

ATTACHMENT B
CONDITIONS OF APPROVAL FOR ARCHITECTURAL REVIEW 13-05 (Administrative)

1. This architectural review is granted to allow the construction of a 2,400 square foot addition to the rear portion of an existing auto repair business only. Prior to the issuance of a building permit for the project, the applicant shall submit detailed plans showing compliance with these conditions of approval for review and approval by the City's Planning and Building Division. The applicant shall submit a separate plan check to be processed through the City's Fire Department for review and approval.
2. The existing auto repair bay structures located in the rear of the existing office building shall be renovated with new exterior prefabricated metal siding panels, to create a consistent design appearance with the new addition.
3. The proposed addition and the east and west walls of the existing renovated prefabricated structure shall have a "Saddle Tan" field color and "Koko Brown" trim color using the Heritage Building System design themes, or comparable colors subject to review by the Planning Director. The roof structure shall have a textured paint application to create a non-metallic architectural appearance, subject to final review and approval by the Planning Director.
4. Prior to the issuance of building permits, the applicant shall install a reduced pressure backflow prevention device per City Standards for all water service connections to the existing facility. A permit must be obtained and field inspections approved, through the City's Engineering Division, to satisfy the requirements of this conditions.
5. The applicant shall agree to connect to future sewer main lines along Avenue 48, when City sewer services become available. This shall include installation of a sand/oil separator.
6. The applicant shall meet and confer with the Coachella Valley Water District and comply with requirements related to existing CVWD facilities that may traverse the subject site, prior to issuance of permits. The applicant shall submit proof of payment of all CVWD review fees prior to issuance of building permits.
7. Any new wall signs shall be submitted for review and approval to the Building Division by separate permit. New wall signs may be placed flat against the walls, below the eave lines of the auto repair structures.
8. All rooftop mechanical equipment shall be architecturally screened from view to the street, subject to review and approval by the Planning Director. The applicant shall submit plans showing adequate screening prior to the issuance of any mechanical permits.

Riverside County Fire Department



Fire Protection Planning Section

Riverside Office: 2300 Market St., Ste. 160, Riverside, CA 92501 Ph. (951) 986-4777 Fax (951) 986-4868
Palm Desert Office: 77-933 Las Montañas Rd., # 201 Palm Desert, CA 92211-4131 Ph. (760) 863-8886 Fax (760) 863-7872

Fire Department Clearance/Release

Date: 11/22/2013

To: COACHELLA B&S

Fax: _____

Tract/Parcel Map #: MARCELO'S AUTO SHOP

Permit/Lot #: COA-13-BP-027

Job Site Address: 84801 AVE 48

City, State, Zip: COACHELLA

- Final For Recordation
- Final for Alarm System
- Final for Fire Suppression System
- Shell Final Only (No Tenant)
- Release For Residential Sprinkler Installation

- Building Plan Check Fees Paid, Water Requirement Met- *if water applicable*
- Building Plan Check Fees Not Paid
- Residential Sprinkler Plan Check Fees Paid
- Residential Sprinkler Plan Check Fees Not Paid
- Other Fees
- Fees Not Required

If you should have any questions, please contact the appropriate Riverside County Fire Protection Planning office for further assistance.

KOHL HETRICK
Print Name of Plan Reviewer/Inspector Approved Release

Sent By: Print Name



December 11, 2013

Marcelo Morales
Marcelo's Auto Repair
84-801 Avenue 48
Coachella, CA 92236

**Subject: Permit No. BL 2013-07-09818 to allow a 2400 sq. ft. metal warehouse addition
84-801 Avenue 48 (APN's 603-232-025)**

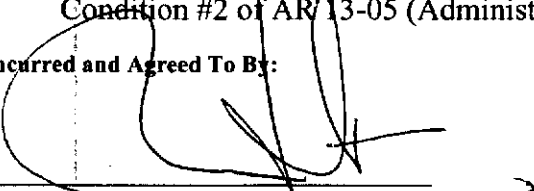
Dear Mr. Morales:

Based on our discussions with you the City of Coachella has considered your request for an "after the fact" building permit at the above property in Coachella, California. Since you have substantially pursued the Planning and Building approvals through our offices with good faith, and in light of a revised Soils Compaction Report dated December 6, 2013 and supplemental information provided to address questions regarding the construction that proceeded in substantial conformance to the manufacturer's specifications and standard structural calculations, it is in the public interest to execute an agreement with respect to the following items.

The City of Coachella ("City") and Marcelo Morales ("Owner") hereby recite the following terms:

- Owner agrees to waive any rights to pursue litigation against the City of Coachella for disputes that may arise related to the issuance of the above-referenced building permit.
- The City agrees to issue an "after the fact" permit subject to field verification of improvements. The owner shall call for a building inspection for Permit No. BL-2013-07-09818 to allow the City's building inspector to verify "after the fact" improvements on the site. The owner agrees to make reasonable corrections, if warranted by the inspector, prior to obtaining final signatures on the project.
- The owner agrees to renovate the existing auto repair structure with new exterior prefabricated metal siding panels, to match the exterior appearance of the warehouse addition, within six (6) months of the effective date of this agreement, as required by Condition #2 of AR 13-05 (Administrative).

Concurred and Agreed To By:



Marcelo Morales
Marcelo's Auto Repair

Date:

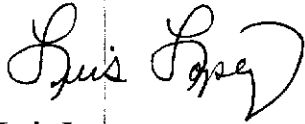
12-12-13

An Affirmative Action/Equal Opportunity Employer

- The owner shall paint the walls of the addition with “Saddle Tan” field color and “Koko Brown” trim color using the Heritage Building System design themes and apply a textured paint application to the roof within twelve (12) months of the effective date of this agreement, as required by Condition #3 of AR 13-05 (Administrative).

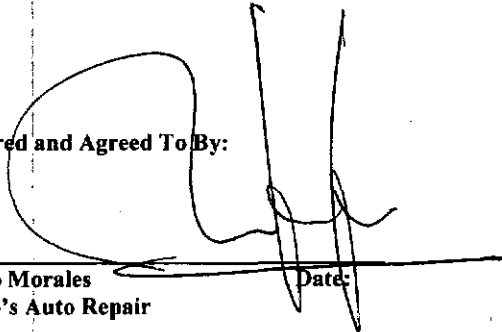
Please provide your signatures on the bottom of the pages of this letter and on the attached Indemnification Form to execute this agreement. Please contact me at (760) 398-3102 if you have any further questions regarding this matter.

Sincerely,



Luis Lopez
Development Services Director

Concurred and Agreed To By:



Marcelo Morales
Marcelo's Auto Repair

Date:

12-12-13



Sladden Engineering

45090 Golf Center Parkway, Suite F, Indio, CA 92201 (760) 863-0713 Fax (760) 863-0727
6782 Stanton Avenue, Suite A, Buena Park, CA 90621 (714) 523-0952 Fax (714) 523-1369
450 Egan Avenue, Beaumont, CA 92223 (951) 845-7743 Fax (951) 845-8863
800 E. Florida Avenue, Hemet, CA 92543 (951) 766-8777 Fax (951) 766-8778

December 6, 2013

Project No. 522-13311
13-12-545

Marcelo's Auto Repair
84-801 Avenue 48
Coachella, California 92236

Project: Marcelo's Auto Repair
84-801 Avenue 48
Coachella, California

Subject: Compaction Testing – Garage Addition

Summarized in this report are the results of in-place density testing performed at the subject site as requested. Testing was performed subsequent to the construction of the building. Two holes were cored throughout the concrete slab to obtain in place moisture-density samples. The project site is located at 84-801 Avenue 48 in the City of Coachella, California.

Coring and in place moisture -density testing was performed on December 4, 2013. Testing indicates that a minimum of 90 percent relative compaction was attained in the areas tested. The passing test results indicate compliance with the typical compaction requirements of the California Building Code (CBC) and the City of Coachella at the tested locations and depths but are no guarantee or warranty of the contractors work.

Field Tests: In-place moisture/density testing was performed using driven ring samples in accordance with ASTM Test Method D2937-90. A total of 2 density tests were performed. The test results are summarized on the attached data sheet.

Laboratory Tests: The moisture-density relationships for the soil were determined in the laboratory in accordance with ASTM-D Test Method 1557-91.

If there are any questions regarding this report or the testing summarized herein, please contact the undersigned.

Respectfully submitted
SLADDEN ENGINEERING

Brett L. Anderson
Principal Engineer

Compaction/gvm



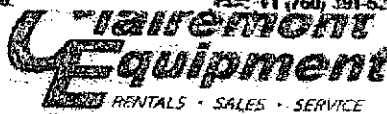
Copies: 4 / Marcelo's Auto Repair

TEST RESULTS

Project Name: Marcelo's Auto Repair
 Location: 84801 Ave. 48, Coachella, California

PROJECT NO: 522 Item 2.
 REPORT NO: 13-12-545

Test No.	Date Tested	Location	Elevation	Dry Density in place	% Moisture in place	Relative Compaction	Maximum Density
		Garage Building Pad					
1	12/04/13	Per Plan	SG	109.3	8.2	91	119.5
2	12/04/13	Per Plan	SG	117.8	3.5	99	119.5
		SG = Subgrade					



Item 2.

PLEASE REMIT TO:
MAIN OFFICE
7651 Ronson Road,
San Diego, CA 92111-1511
Billing Inquiries: (858) 278-8351
FAX (352) 432-3655

81-501 INDUSTRIAL PL
INDIO, CA 92201
(760) 863-5558

Date
8-26-13

RENTAL INVOICE
EQUIPMENT IS CHARGED UNTIL CUSTOMER CALLS RENTAL
COUNTER FOR PICK UP CONFIRMATION NO.

Page: 1
Invoice No.
46343381

Bill To: 199999 Ship To:

MARCELO DANIEL MORALES
MARCELO'S AUTO REPAIR
43635 CALLE ESPAÑA
LA QUINTA CA 92253

WILL
CALL

Phone 760-699-1332

Terms: CASH Rental Period: 8-24-13 thru 8-26-13 Slam: 403/400

UNIT/ITEM	QUANTITY	PRICE/RATE	AMOUNT
-----------	----------	------------	--------

Deposit Received 8-24-13 77.35 Payment

Returned 173182 Model BW120AD4
Serial No. 101880021848
ROLLER BW120AD-4 BOMAG 175.00 Day 175.00
Rented: 8-24-13 11:00am thru 8-26-13 9:00am

Rates: 29.17 Hour 175.00 Day 700.00 Week 2,100.00 Month
METER in: 525.9 out: 523.9 net: 2.9
ENVIRONMENTAL FEE 7.00

Deposit Received 8-24-13 140.00 Payment

UNIT MUST BE RETURNED BY MONDAY 8/26/13 BY 8AM
FOR THE ONE DAY CHARGE

Deposit Refunded 8-26-13 10.85 Payment
DAMAGE WAIVER 24.50

CONTRACT CLOSED BY _____

Total Rentals	175.00
Total Misc. Charges	31.50
Subtotal	206.50
Less Deposits	206.50
Due	.00

X
Customer Signature: _____ Name: _____ Date: _____ CE Salesperson: _____

SUBJECT TO TERMS AND CONDITIONS ON REVERSE SIDE

ORIGINAL

Monday, August 26, 2013 11:57:24 AM

CLAIMPOINT EQUIPMENT
81-501 INDUSTRIAL P1
INDIA, IN 46201
(760) 463430
Store#: 00004 Register# 001
Served by: 000007
Reference: 463430

Sale Refund (\$10.85)
Refund total (\$10.85)
Seq. 0430

VISA
Keyed
Credit card charge-ID 21766011419 (\$10.85)
00-APPNDRP-072234
Balance \$0.00

[DUPLICATE RECEIVED]
Monday, September 02, 2013 11:58:05 AM
by: 000007 - SABA

[THANK YOU!]
[CUSTOMER RECEIVED]
Thanks for choosing CLAIMPOINT EQUIPMENT!

Saturday, August 24, 2013 8:24:42 AM

CLAIMPOINT EQUIPMENT
81-501 INDUSTRIAL P1
INDIA, IN 46201
(760) 463430
Store#: 00004 Register# 003
Served by: 000007
Reference: 463430

Sale \$77.15
Sale total \$77.15
Seq. 0430

VISA
Keyed
Credit card charge-ID 21766011419 \$77.15
00-APPNDRP-030349
Balance \$0.00

[DUPLICATE RECEIVED]
Monday, September 02, 2013 11:58:28 AM
by: 000007 - SABA

[THANK YOU!]
[CUSTOMER RECEIVED]
Thanks for choosing CLAIMPOINT EQUIPMENT!

Saturday, August 24, 2013 10:55:08 AM

CLAIMPOINT EQUIPMENT
81-501 INDUSTRIAL P1
INDIA, IN 46201
(760) 463430
Store#: 00004 Register# 003
Served by: 000007
Reference: 463430

Sale \$140.00
Sale total \$140.00
Seq. 0430

VISA
Keyed
Credit card charge-ID 217660118580 \$140.00
00-APPNDRP-001125
Balance \$0.00

[DUPLICATE RECEIVED]
Monday, September 02, 2013 11:58:21 AM
by: 000007 - SABA

[THANK YOU!]
[CUSTOMER RECEIVED]
Thanks for choosing CLAIMPOINT EQUIPMENT!

DESERT RED-MIX

WEIGHED AT:

2056 Old Highway 111 El Centro, CA 92234 (760) 370-6005
 50-305 Highway 111 Coachella, CA 92236 (760) 398-7742
 Fargo Canyon Quarry 86-600 Fargo Canyon Rd Indio, CA 92201

OTHER SPECIFY
 Concrete is a perishable commodity and becomes the property of the purchaser upon batching at the plant.

COMMENTS
 ALL RETURNED CHECKS WILL BE CHARGED AT \$25.00 SERVICE CHARGE
 CHECKS
 DRIVERS LOG

Item 2.

TO JOB: **550**
 ON JOB: **600**
 START POUR: **07:19**
 FINISH POUR: **08:50**
 LEAVE JOB: _____
 ARRIVE PLANT: _____

Job-site Cylinder Test: No Yes
 Water added on job at Customer's request: **10** gals to full Ld. Yes
 _____ gals to 2/3 Ld. Yes
 _____ gals to 1/3 Ld. Yes

TIME ON JOB: _____ MIN
 OVERTIME: _____ MIN
 RATE OF X: _____ PER MIN

REASON FOR DELAY TIME:
 JOB NOT READY
 JOB BROKE DOWN
 TRUCK BROKE DOWN
 ADDING WATER
 ARRIVED JOB EARLY
 SLOW PLACING METHOD

4 MIN PER YD FREE UNLOADING TIME ALLOWED
 ADDITIONAL UNLOADING TIME CHARGED AT CURRENT HOURLY TRUCK RATE
 CREDIT CARD PAYMENTS WILL BE CHARGED 2.5% PROCESSING FEE

All disputes are submitted to binding arbitration with AAA except small claims. All venues in Indio, CA. In event of default in payment of this invoice and it is necessary for seller to retain services of an attorney by reason thereof the buyer agrees to pay seller all costs and expenses incurred by person thereof including a reasonable attorney's fee plus 15% interest per month.
 CORONET CONCRETE PRODUCTS, INC. (CBA) DESERT RED-MIX AND DRIVERS are released from any responsibility for damages which may be incurred from delivering materials across the curb or property line and for any variations of color added to the concrete requested by the customer and will be added at the customer's own risk. Claims for shortages will not be allowed unless made at the time the material was delivered. Additional water added to this concrete will reduce its strength. Any water added is at customer's own risk.
 CAUTION: Freshly mixed concrete may cause skin irritation on prolonged exposure. Avoid direct contact where possible and wash exposed skin areas promptly with water. If any cementitious materials get into the eye, nose, immediately and repeatedly with water and get prompt medical attention. Keep out of reach of children.
 Received by: _____

PLANT: _____ DATE: _____ CUSTOMER NO: **0001** SOLD TO: **COD TDL TECH**
 TX CD: _____ DELIVERY ADDRESS & INSTRUCTIONS: _____ MAR PAGE: _____

CP/PLNO: _____ TICKET NO: **141302** TIME TYPED: **05:27** ZONE NO: **148276** PROJECT NO: _____
 LOAD NO: _____ CLUMP: _____ USE: _____ TRUCK NO: _____ DRIVER: _____ DRIVER NO: _____

LOAD QUANTITY	CUMULATIVE QUANTITY	ORDERED QUANTITY	PRODUCT CODE	PRODUCT DESCRIPTION	UNIT OF MEASURE	UNIT PRICE	TOTAL AMOUNT
10.00	10.00	50.00	9792	36.54 SK. FC 3750 PSI	CU Yard	45.00	450.00
1.00	1.00	0.00	FE1	FUEL & ENVIRONMENTAL	Each	12.00	12.00
1.00	1.00	1.00	Fiber 1	FIBERMESH	Per Yrd	50.00	50.00
1.00	1.00	0.00	DELCHARGE	DELIVERY CHARGE	Per Yrd	25.00	250.00
					Short Load		0.00

LOAD WEIGHT SSD: _____
 *The prices of taxable items include sales tax. *Reimbursement computed to the nearest mill.
 WEIGHMASTER CERTIFICATE
 THIS IS TO CERTIFY that the following described commodity was weighed, measured or counted by a weighmaster whose signature is on this certificate, who is recognized authority of accuracy as prescribed by Chapter 77 (commencing with Section 12700) of Division 15 of the California Business and Professions Code. Administered by the Division of Measurement Standards of the California Department of Food and Agriculture.
 DESERT RED-MIX
 By: _____ Deputy

TAX	
PREVIOUS BALANCE	0.00
SUBTOTAL	0.00
OVERTIME CHARGE	792.00
TOTAL	792.00

INSPECTOR: _____ By: **MOLDONADO, REYES** Deputy

DESERT REDI-MIX

WEIGHED AT:

COMMENTS:
 ALL RETURNED CHECKS WILL BE CHARGED AT \$25.00 SERVICE CHARGE

CHECK#

DRIVER'S LIC

2059 Old Highway 111 El Centro, CA 92234 (760) 370-0005

450-305 Highway 111 Coachella, CA 92236 (760) 988-7717

Fargo Canyon Quarry 88-600 Fargo Canyon Rd Indio, CA 92201

OTHER SPECIFY:
 Concrete is a perishable commodity and becomes the property of the purchaser upon batching at the plant.

Item 2.

TO JOB: 6:03 Job-site Cylinder Test No Yes

ON JOB: 6:26 TIME ON JOB: _____ MIN REASON FOR DELAY TIME

START POUR: 6:49 OVERTIME: _____ MIN

FINISH POUR: 7:14 RATE OF X: \$ _____ PER MIN

LEAVE JOB: _____

ARRIVE PLANT: _____

Water added on job at Customer's request: 10 gals to full Ld Yes No

_____ gals to 2/3 Ld Yes No

_____ gals to 1/3 Ld Yes No

4 MIN PER YD FREE UNLOADING TIME ALLOWED.

ADDITIONAL UNLOADING TIME CHARGED AT CURRENT HOURLY TRUCK RATE.

CREDIT CARD PAYMENTS WILL BE CHARGED 2.5% PROCESSING FEE

All disputes are submitted to binding arbitration with AAA except small claims. All venues in Indio, CA. In event of default in payment of this invoice and it is necessary for seller to retain services of an attorney, reason thereof the buyer agrees to pay seller all costs and expenses incurred by person thereof including a reasonable attorney's fee plus 1.5% interest per month.

CAUTION: Freshly mixed concrete may cause skin irritation on prolonged exposure. Avoid direct contact where possible and wash exposed skin areas promptly with water. If any cementitious materials get into the eye, rinse immediately and repeatedly with water and get prompt medical attention. Keep out of reach of children.

RECEIVED: _____

PLANT: _____ DATE: 05/27/17 CUSTOMER NO: 01801 SOLD TO: CAD TQ/TECH CUSTOMER PO/JOB OR LOT NO: Job 1

TX CD: _____ DELIVERY ADDRESS & INSTRUCTIONS: AVE. 45 WRECKING YARD INDIO (760) 275-7958 MAP PAGE: _____

GPU NO.	TICKET NO.	TIME TYPED	ZONE NO.	PROJECT NO.
5	141109	07:56	148100	

LOAD NO.	SLUMP	TUBE	TRUCK NO.	DRIVER	DRIVER NO.

LOAD QUANTITY	CUMULATIVE QUANTITY	ORDERED QUANTITY	PRODUCT CODE	MIX AND PRODUCT DESCRIPTION	UNIT OF MEASURE	UNIT PRICE	AMOUNT
10.00	20.00	50.00	9702	6.5 SH. EQ 3750 PSI	Cu Yard	45.00	450.00
1.00	2.00	0.00	FE1	FUEL & ENVIRONMENTAL	Each	12.00	12.00
1.00	2.00	1.00	Fiber 1	FIBERMESH	Per Yrd	5.00	50.00
1.00	2.00	0.00	DELCHARGE	DELIVERY CHARGE	Per Yrd	28.00	280.00
				Short Load			0.00

LOAD WEIGHT SSD: _____

The prices of taxable items include sales tax. Reimbursement computed to the nearest mill.

WEIGHMASTER CERTIFICATE

THIS IS TO CERTIFY that the following described commodity was weighed, measured or counted by a weighmaster whose signature is on this certificate, who is recognized authority of accuracy as prescribed by Chapter 7 (commencing with Section 12700) of Division 5 of the California Business and Professions Code, Administered by the Division of Measurement Standards of the California Department of Food and Agriculture.

DESERT REDI-MIX

By: _____ Deputy

TAX	PREVIOUS BALANCE	SUB TOTAL	OVERTIME CHARGE	TOTAL
	0.00	792.00	792.00	

DESENI NEDIVIA

WEIGHED AT

2059 Old Highway 111
El Centro CA 92234
(760) 370-0005

60-306 Highway 111
Coachella CA 92236
(760) 399-7717

Fargo Canyon Quarry
86-600 Fargo Canyon Rd
Indio CA 92201

OTHER SPECIFY
(If materials are separate commodity and becomes the property of the purchaser upon receipt at the plant)

CERMENTS: 8.00
ALL RETURNED CHECKS WILL BE CHARGED AT \$25.00 SERVICE CHARGE
CHECKS: 792.00
DRIVERS LLC

REASON FOR DELAY: 75.00
 JOBS NOT READY
 ICE BROKE DOWN
 TRUCK BROKE DOWN
 AGING WATER
 APPROVED JOB EARLY
 SLOW PAVING METHOD

MIN: _____
 OVERTIME: _____
 RATE OF X \$: _____ PER MIN: _____
 4 MIN PER YD. FREE UNLOADING TIME ALLOWED
 ADDITIONAL UNLOADING TIME CHARGED AT CURRENT HOURLY TRUCK RATE

Job-site Cylinder Test: _____
 Water added per job at _____
 Customer's request: _____
 gals to full load _____
 gals to 2/3 load _____
 gals to 1/3 load _____

ALL disputes are submitted to binding arbitration with AAA except small claims. All vehicles in Indio CA. In event of default in payment of this invoice, and it is necessary for seller to retain services of an attorney by reason thereof the buyer agrees to pay seller all costs and expenses incurred by seller, including a reasonable attorney's fee plus 1.5% interest per month. Freight mixed concrete may cause skin irritation on prolonged exposure. Avoid direct contact where possible and wash exposed skin areas promptly with water. If any cementitious materials get into the eye, rinse immediately and repeatedly with water and get prompt medical attention. Keep out of reach of children.

RECEIVED BY: *[Signature]*
 CUSTOMER'S JOB OR LOT NO: Job 1

PLANT: 0972713
 SOLD TO: EOD TOLTECH
 DELIVERY ADDRESS & INSTRUCTIONS: WRECKING YARD (760) 275-7958
 MAP PAGE: 8191

LOAD QUANTITY	CUMULATIVE QUANTITY	SLUMP	TIME	ZONE NO	PROJECT NO	DRIVER	MIX AND PRODUCT DESCRIPTION	UNIT OF MEASURE	UNIT PRICE	AMOUNT
10.00	30.00	4.0	08:51	148105		REYNOLDS, ETC	6-5 SK. EP 3750 PSI	CU Yard	45.00	450.00
1.00	31.00						PIEL & FVJ ROMENTAL	Each	12.00	12.00
1.00	32.00						FIBERMESH	Per Yrd	5.00	5.00
1.00	33.00						DELCHARGE DELIVERY CHARGE	Per Yrd	28.00	28.00
								Shortload		0.00

LOAD WEIGHT SSB: _____
 INSPECTOR: MALDONADO REYES
 BY: *[Signature]*
 DESERT RED MIX
 THE PRICE OF VARIABLE ITEMS INCLUDES SALES TAX. Reimbursement computed to the nearest mill.
 WEIGHMASTER CERTIFICATE
 THIS IS TO CERTIFY that the following described quantity was weighed, measured or counted by a weighmaster whose signature is on this certificate, who is recognized authority of accuracy as established by Chapter 12, commencing with Section 12200 of Division 5 of the California Business and Professions Code. Administered by the Division of Measurement Standards of the California Department of Pesticide Regulation.

DESERT RED MIX

WEIGHED AT

2099 Old Highway 111
El Centro, CA 92234
(760) 370-0805

60-405 Highway 111
Fargo Canyon Quarry
86-900 Fargo Canyon Rd
Indio, CA 92201

OFFICE SPECIFY
Gypsum is a payable commodity and becomes the property of the purchaser upon delivery at the plant.

COMMENTS:
ALL RETURNED CHECKS WILL BE CHARGED AT \$25.00 SERVICE CHARGE

CHECKED BY _____
DRIVERS TO _____

TO JOB: 7.45
ON JOB: 7.55
START POUR: 8.05
FINISH POUR: _____
LEAVE JOB: _____
ARRIVE PLANT: _____

Job-site Cylinder Test: No Yes

Water added on job at Customer's request: Yes No

gals to 1/2 hd _____
gals to 3/4 hd _____
gals to 1/3 hd _____

REASON FOR DELAY TIME:
 JOB NOT READY
 JOB BROKE DOWN
 TRUCK BROKE DOWN
 ADDING WATER
 APPROVED EARLY
 SLOW PAVING METHOD

2 MIN PER YD FREE UNLOADING TIME ALLOWED
ADDITIONAL UNLOADING TIME CHARGED AT CURRENT HOURLY TRUCK RATE

CREDIT CARD PAYMENTS WILL BE CHARGED 2.5% PROCESSING FEE

All disputes are submitted to binding arbitration with AAA except small claims. All values in Indio, CORNETT CONCRETE PRODUCTS INC. DBA DESERT RED MIX AND DRIVERS are released CA in event of default in payment of this invoice and it is necessary for seller to retain services of an attorney by reason thereof the buyer agrees to pay seller all costs and expenses incurred by reason thereof including a reasonable attorney's fee plus 15% interest on the amount thereof. Freshly mixed concrete may cause skin irritation and allergic exposure. Avoid direct contact with eyes. If any irritations occur, wash immediately and repeatedly with water and get prompt medical attention. Keep out of reach of children.

PLANT: _____ DATE: _____ CUSTOMER NO: _____ SOLD TO: _____
 TX CD: 93-67-13-0001 CDD TOLLETT
 DELIVERY ADDRESS & INSTRUCTIONS: WRECKING YARD
 TIME: 6:00 PROJECT NO: (760) 275-7956
 MAP PAGE: 0101
 CUSTOMER JOB / JOB OR LOT NO: 101

LOAD NO	LOAD QUANTITY	TICKET NO	TIME TYPED	ZONE NO	DRIVER	MIX AND PROBUC DESCRIPTION	UNIT OF MEASURE	UNIT PRICE	AMOUNT
1	40.00	518122	7:28	148193	JULIA	6.5 BK. 60 3750 PSI CU YARD FUEL & ENVIRONMENTAL	CU Yard	43.00	1720.00
2	1.00					FIBEREMIX	Per Year	12.00	12.00
3	1.00					DELCHARGE	Per Year	50.00	50.00
4	1.00					DELIVERY CHARGE	Per Year	28.00	28.00
						Short Load		0.00	0.00

LOAD WEIGHT STD: _____

INSPECTOR: _____

BY: MELDONADO, REYES Deputy

DESERT RED MIX

THIS IS TO CERTIFY that the following described commodity was weighed, measured or counted by a weighmaster whose signature is on this certificate, who is recognized authority of accuracy as prescribed by Chapter 7 (commencing with Section 27700) of Division 5 of the California Business and Professions Code, administered by the Division of Measurement Standards of the California Department of Food and Agriculture.

WEIGHMASTER CERTIFICATE
 THIS IS TO CERTIFY that the following described commodity was weighed, measured or counted by a weighmaster whose signature is on this certificate, who is recognized authority of accuracy as prescribed by Chapter 7 (commencing with Section 27700) of Division 5 of the California Business and Professions Code, administered by the Division of Measurement Standards of the California Department of Food and Agriculture.

The prices of taxable items include sales tax. Reimbursement computed to the nearest mill.

TAX	
PREVIOUS BALANCE	0.00
SUB-TOTAL	2376.00
OVERTIME CHARGE	792.00
TOTAL	3168.00

DESERT KEDI-MIX

WEIGHED AT:

2059 Old Highway 111
El Centro, CA 92234
(760) 370-0065

50-305 Highway 111
Fargo Canyon Quarry
Cocheila, CA 92236
(760) 395-7717

Other Specify
Concrete for portable commodity
and incurs the company of the
purchase upon loading at the plant.

COMMENTS:
ALL RETURNED CHECKS WILL BE
CHARGED AT \$30.00 SERVICE CHARGE.

CHECKS:
NO CHECKS
NO CHECKS

REASON FOR DELAY TIME:

JOB NOT READY
 CREW SCHEDULED
 TRUCK BROKE DOWN
 AGING WATER
 ARRIVED TOO EARLY
 SLOW PLACEMENT METHOD

TIME ON JOB:
MIN: _____
PER MIN: _____

OVER TIME:
RATE OF X: _____

Job-site Cylinder Test:
 No
 Yes

Water added on job at
Customer's request:
gals to full gal
gals to 2/3 gal
gals to 1/3 gal

APPROVE PLANT:

All disputes are limited to binding arbitration with AAA except small claims. All venues in Idaho. GORGETT CONCRETE PRODUCTS INC. DBA DESERT KEDI-MIX AND DRIVERS are released
CA. In event of default in payment of this invoice and it is necessary for seller to render services or incur expenses, the buyer agrees to pay seller all costs and expenses incurred by seller
thereof including a reasonable attorney's fee plus 15% thereafter monthly.
CAUTION: Preply mixed concrete may cause skin irritation on prolonged exposure. Avoid direct contact where possible and wash exposed skin areas promptly with water. If any cementitious materials get into the eye, close immediately and repeatedly with water and get prompt medical attention. Keep out of reach of children.

PEANT: DATE: 09/27/15 CUSTOMER NO: 0001 SOLD TO: COD TEL TECH

TX GO: DELIVERY ADDRESS & INSTRUCTIONS: 5001 E. WILKINSON YARD, BREA, CA 92621

PROJECT: 0760-275-7958 MARCELOS

DRIVER: MALDONADO REYES

LOAD NO.	LOAD QUANTITY	CUMULATIVE QUANTITY	TRUCK NO.	DRIVER	PRODUCT CODE	UNIT OF MEASURE	PRICE	AMOUNT
10-00	50.00	50.00	9742	DRIVER	6.5 8W 60 13750 PSI	Cu Yard	45.00	450.00
1-00	5.00	55.00	FEI	DRIVER	FUEL & ENVIRONMENTAL	Each	12.00	12.00
1-00	5.00	60.00	FIBERESH	DRIVER	PER YARD	Per Yard	5.00	50.00
1-00	5.00	65.00	DELCHARGE	DRIVER	DELCHARGE DELIVERY CHARGE	Per Yard	28.00	280.00
					Shortload			0.00

WEIGHTS:

NET WEIGHT: 3960.00

GROSS WEIGHT: 792.00

TOTAL: 3960.00

INSPECTOR: MALDONADO REYES

DEPUTY: MALDONADO REYES

PROJECT: 0760-275-7958 MARCELOS

DRIVER: MALDONADO REYES

DESERT REDIF-MIX

WEIGHED AT

2059 Old Highway 111
 50,305 Highway 111
 El Centro, CA 92234
 (760) 370-0065

Fargo Canyon Quarry
 86-000 Fargo Canyon Rd
 Indio, CA 92201
 (760) 398-7717

OTHER SPECIFY: Concrete is a desirable commodity and because of its supply of the per case upon loading at the plant.

COMMENTS: ALL RETURNED CHECKS WILL BE CHARGED AT \$65.00 SERVICE CHARGE.
 CREDIT: DRIVERS LIC

Job-site Cylinder Test:

Water added on job at Customer's request: 10 gals to full Ld.
 gals to 2/3 Ld.
 gals to 1/3 Ld.

Job-site Cylinder Test: No Yes
 OVERTIME: No Yes
 RATE OF X: \$ 10 PER MIN.

REASON FOR DELAY TIME:
 JOB NOT READY
 JOB BROKE DOWN
 TRUCK BROKE DOWN
 ADDING WATER
 ARRIVED JOB EARLY
 SLOW PLACING METHOD

4-MIN. PER YD. PRE-UNLOADING TIME ALLOWED.
 ADDITIONAL UNLOADING TIME CHARGED AT CURRENT HOURLY TRUCK RATE.

CREDIT CARD PAYMENTS WILL BE CHARGED 2.5% PROCESSING FEE.

All mixtures are submitted to batching and proportioning (BMA) except small orders. All mixtures in Indio, CORONET CONCRETE PRODUCTS, INC. DESERT REDIF-MIX, AND DRIVERS are cleaned in CA. In event of default payment of this invoice and it is necessary for seller to retain services of an attorney, responsibility for damages which may be incurred from delivering materials across the attorney by reason thereof shall be agreed to pay seller all costs and expenses incurred by person, customer or property (for and for any variations of color added to the concrete, requested by the customer and will be added at the customer's own risk. Claims for shortages will not be allowed. CAUTION: Freshly mixed concrete may cause skin irritation or prolonged exposure. Avoid direct contact where possible and wear a respirator, skin wears promptly with water. If any cementitious residues is at customer's own risk. materials get into the eye, flush immediately and repeatedly with water and get prompt medical attention. Keep out of reach of children.

PLANT: INDIO DATE: 09/27/17 CUSTOMER NO: 10001 SOLD TO: EDD TOLTECH
 TX: 09/27/17 DELIVERY ADDRESS & INSTRUCTIONS: WRECKING YARD (750) 875-2958 MARCELOS WRECKING YARD PROJECTS
 MAP PAGE: 01A1 CUSTOMER P.O. JOB OR LOG NO: J061

LOAD QUANTITY	SLUMP	USE	TRACK NO	DRIVER	MIX AND PRODUCT DESCRIPTION	UNIT OF MEASURE	UNIT PRICE	AMOUNT
57.00	5	FOUND	582	BROWN	DESERT REDIF-MIX	CU YARD	45.00	2565.00
1.00	5	FE1			FUEL & ENVIRONMENTAL	Each	12.00	12.00
1.00	5	FLB			FIBER MESH	Per Yrd	5.00	5.00
1.00	5	DEL CHARGE			DELIVERY CHARGE	Per Yrd	28.00	28.00
					Short Load			0.00

LOAD WEIGHT SSD: _____
 INSPECTOR: MALDONADO REYES
 DATE: 09/27/17

PREVIOUS BALANCE: 0.00
 SUB-TOTAL: 2600.00
 OVERTIME CHARGE: 558.00
 TOTAL: 3158.00

THIS IS TO CERTIFY that the following described commodity was weighed, measured or counted by a weighmaster whose signature is on this certificate, who is recognized authority of accuracy as prescribed by Chapter 7 (commencing with Section 47000) of Division 5 of the California Business and Professions Code. Administered by the Division of Measurement Standards of the California Department of Food and Agriculture.

WEIGHMASTER CERTIFICATE
 DESERT REDIF-MIX

**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**



DATE: 12/10/2018
PERMIT NO: **BL-2018-12-13159**
USE ZONE: Manufacturing Services
OCCUPANCY: CONSTR TYPE: SQ FT:

Item 2.

Inspection Request Require 24 Hour Notice
(760) 398-3002

Project Address: 84801 AVENUE 48
COACHELLA CA 92236

Project Valuation: \$ 5,000.00

PARCEL #: 603232025

LOT #: 1

TRACT #: 0.00

Applicant's Name: MARCELO MORALES
Owner's Name: MARCELO MORALES
Owner's Address: 43635 CALLE ESPADA
LA QUINTA CA 92253

Phone: (760) 391-5277

Fax:

Contractor's Name:
Contractor's Address:

Phone:

Fax:

Business Lic:

State Licence:

Contact Phone:

Contact Person:

Project Name:

Permit Type: MISCELLANEOUS BUILDING PERMIT

Description of Work: FACADE RENOVATION, HANDICAP RAMP PLUS NEW ENTRY DOOR AS PER ATTACHED
Condition: APPROVED BUILDING PLANS.

FEE(S):

BUILDING FEE	\$155.00	1% Construction Tax	\$40.00	Plan Check Fees	\$68.50
Strong Motion Instrumentation	\$1.12	Senate Bill 1473	\$1.00		

TOTAL FEES: \$ 265.62

CERTIFICATION APPEARING ON APPLICATIONS

I have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granted of this permit.

(Handwritten Signature)
(Applicant Signature)

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications.

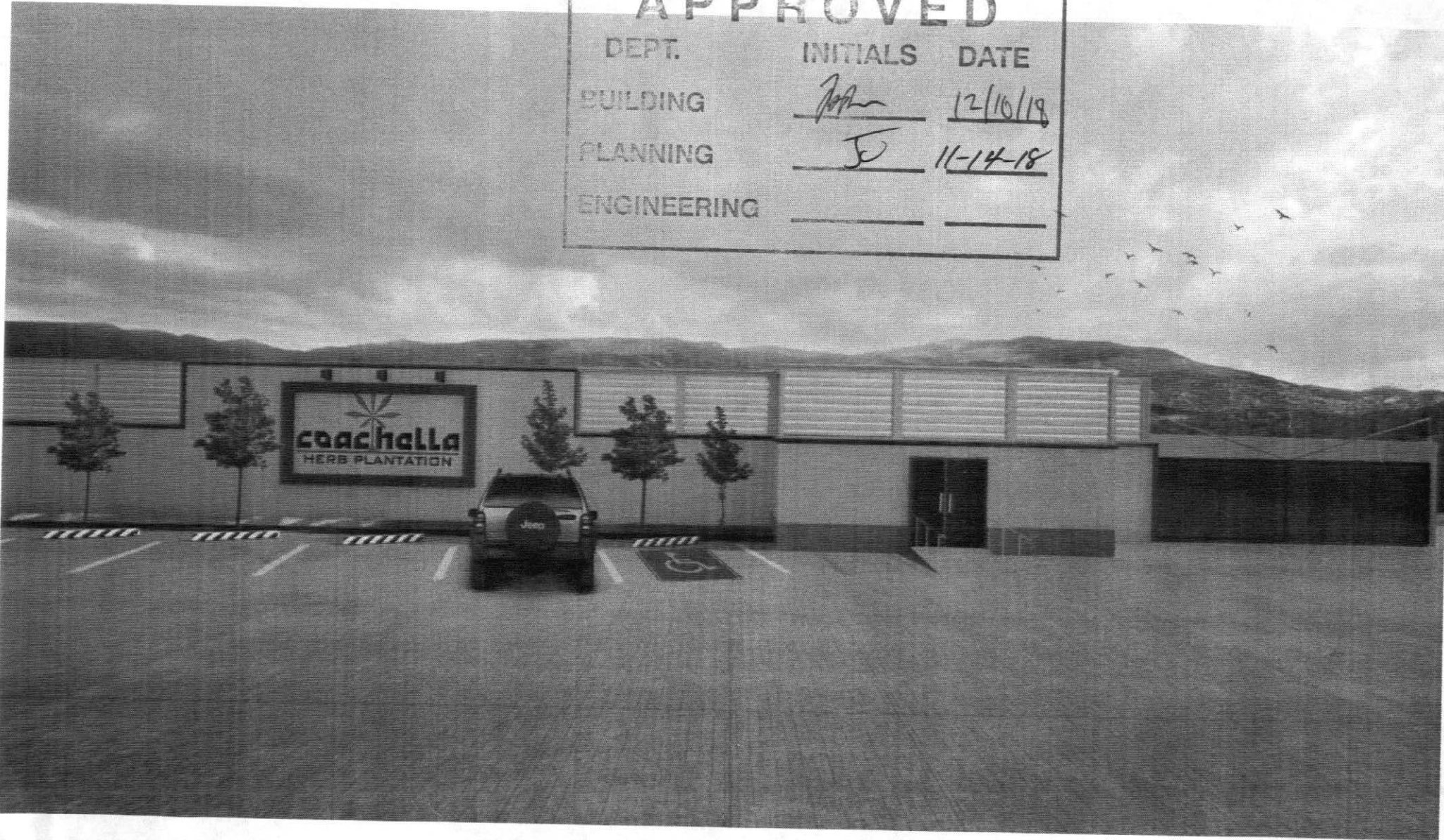
Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is

(Handwritten Signature)

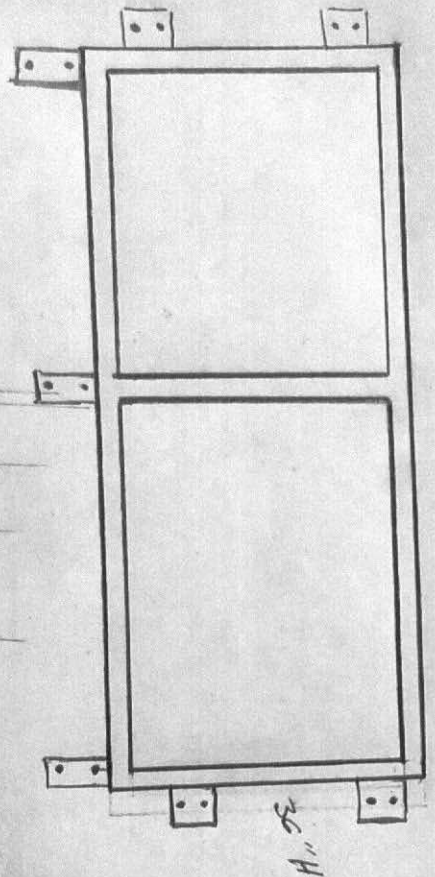
Building

Planning

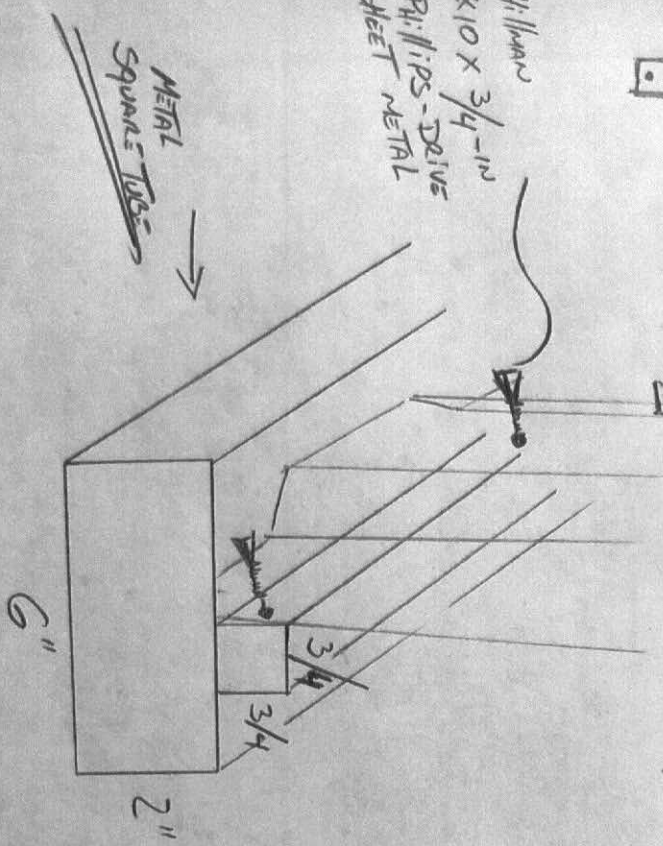
APPROVED		
DEPT.	INITIALS	DATE
BUILDING	<u>JA</u>	<u>12/10/18</u>
PLANNING	<u>J</u>	<u>11-14-18</u>
ENGINEERING	<u> </u>	<u> </u>



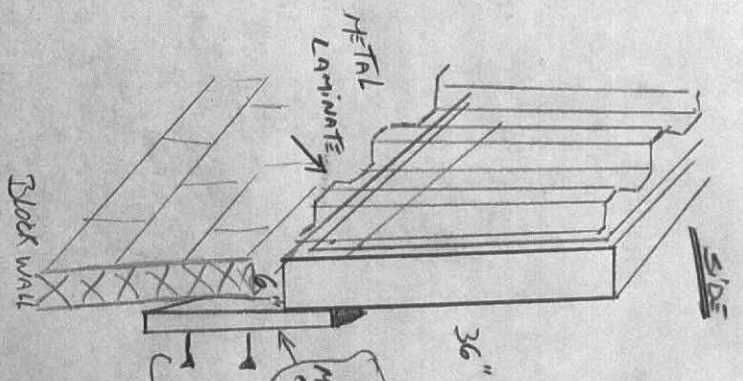
FRONT
MAXIMUM 96"



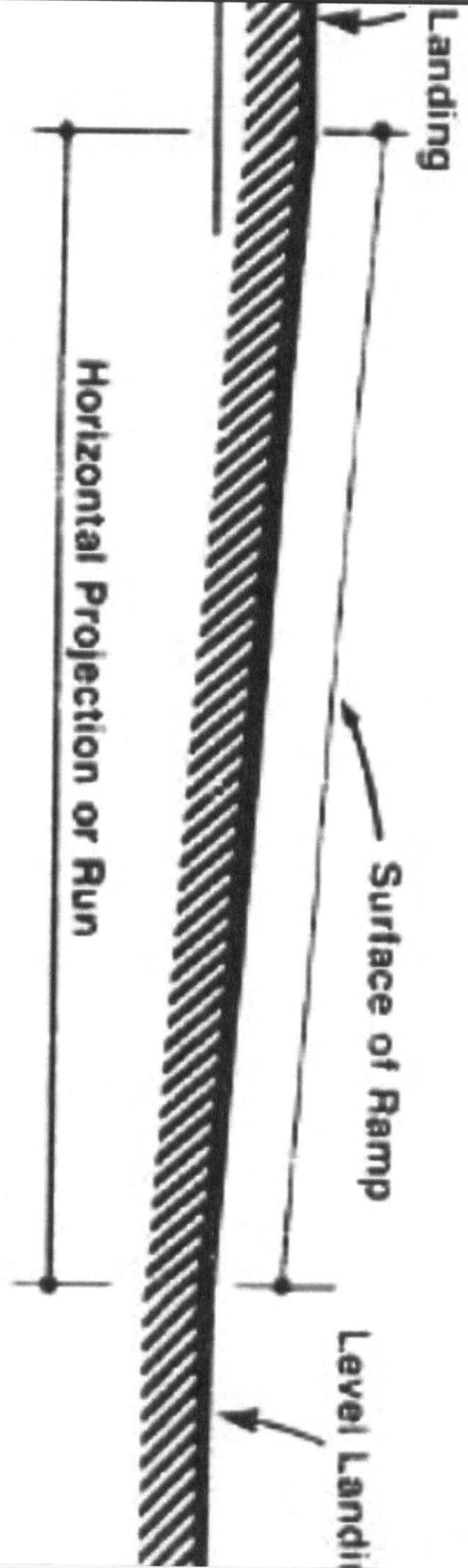
Phillips
#10 X 3/4" - 11"
Phillips-Drive
Sheet Metal



METAL SQUARE TUBES



EXPANSION ANCHOR
A 316 55 3/8 X 5



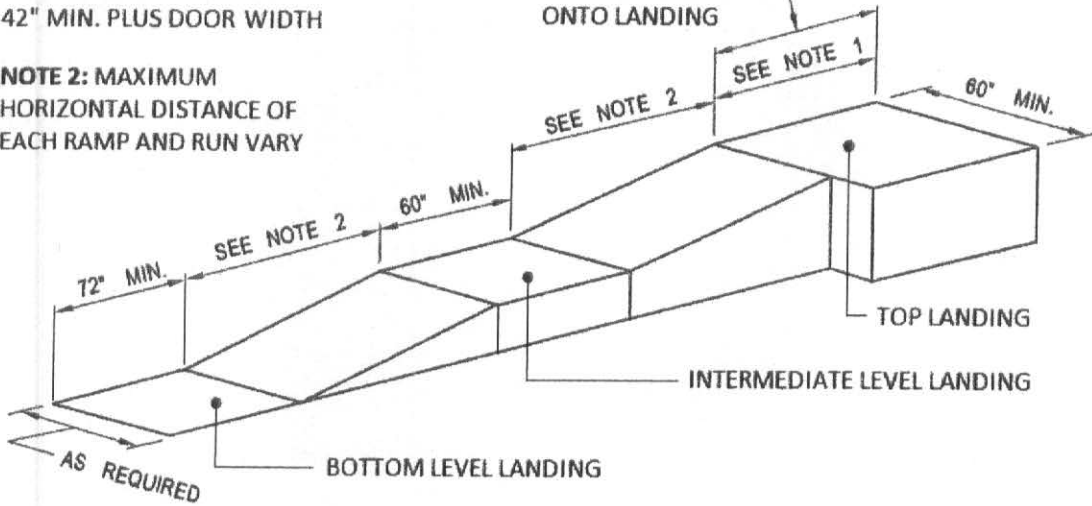
Slope	Maximum Rise		Maximum Horizontal Projection	
	in	mm	ft	m

1:12 to < 1:16	30	760	30	9
1:16 to < 1:20	30	760	40	12

NOTE 1: WHEN DOOR SWINGS ONTO LANDING
42" MIN. PLUS DOOR WIDTH

NOTE 2: MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP AND RUN VARY

60" MIN. WHEN NO DOOR SWINGS ONTO LANDING

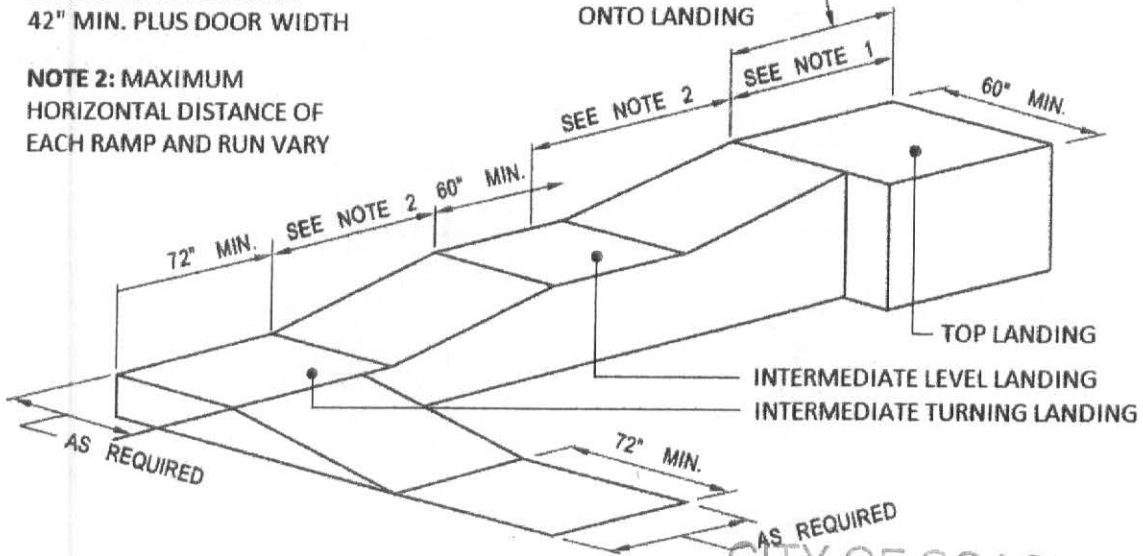


(a) STRAIGHT RAMP RUN

NOTE 1: WHEN DOOR SWINGS ONTO LANDING
42" MIN. PLUS DOOR WIDTH

NOTE 2: MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP AND RUN VARY

60" MIN. WHEN NO DOOR SWINGS ONTO LANDING



(b) RAMP WITH TURNING LANDING

CITY OF COACHELLA
BUILDING DIVISION

APPROVED BY *[Signature]*

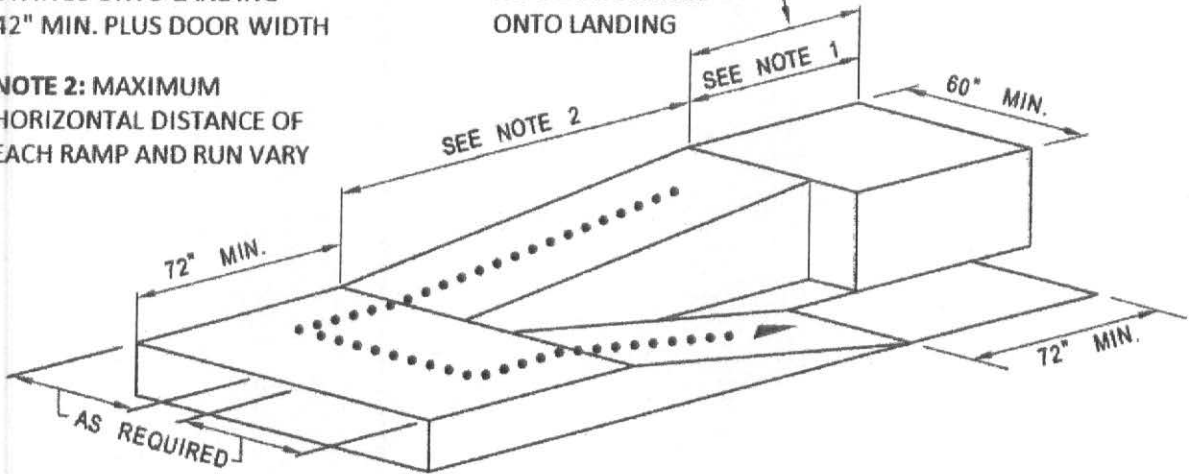
**FIGURE 11A-6C
RAMP DIMENSIONS**

Approval of these plans shall be construed to be a permit for construction of, any violation of any of the provisions of the state or local laws. Check that all plans must be kept on file until completion.

NOTE 1: WHEN DOOR SWINGS ONTO LANDING
42" MIN. PLUS DOOR WIDTH

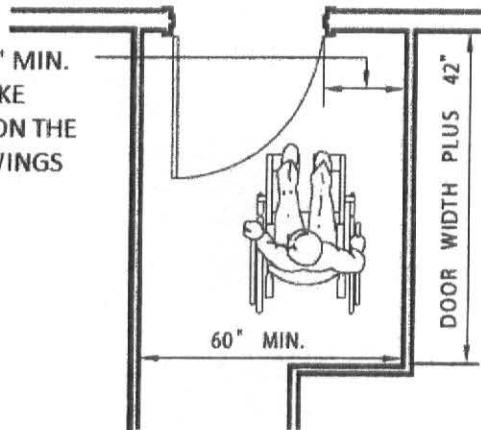
60" MIN. WHEN
NO DOOR SWINGS
ONTO LANDING

NOTE 2: MAXIMUM
HORIZONTAL DISTANCE OF
EACH RAMP AND RUN VARY



(a) RAMP WITH INTERMEDIATE SWITCH BACK LANDING

24" MIN. EXTERIOR AND 18" MIN.
INTERIOR BEYOND THE STRIKE
EDGE OF A GATE OR DOOR ON THE
SIDE TOWARD WHICH IT SWINGS



(b) RAMP LANDING AT DOORWAY

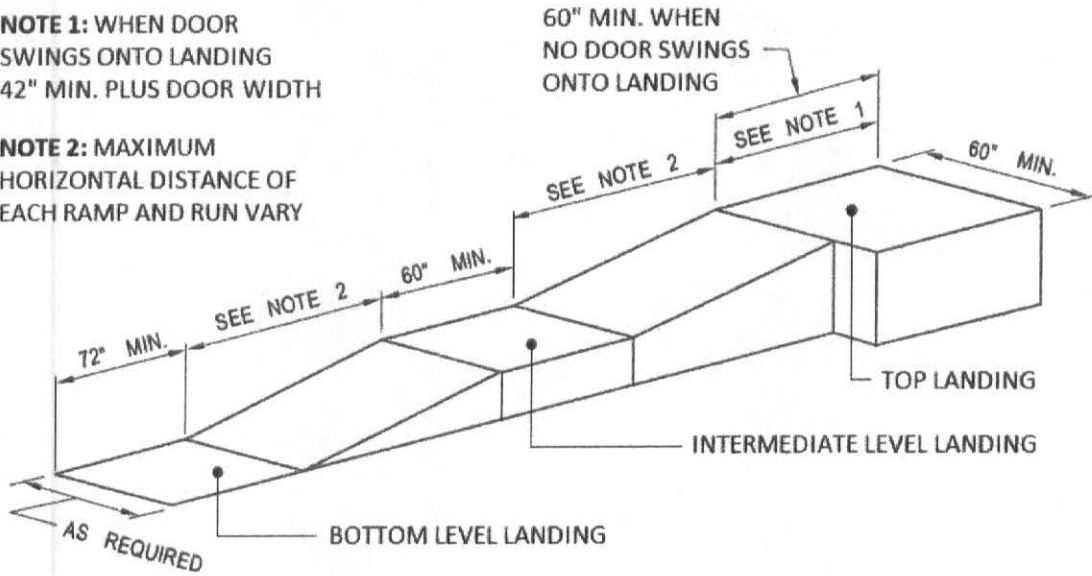
CITY OF COACHELLA
BUILDING DIVISION

FIGURE 11A-6D APPROVED BY
RAMP LANDING AND DOORWAY

[Signature]
Approval of these plans shall be construed to be a permit for construction of, any violation of any of the provisions of the state or local laws. One set of approved plans must be kept on the job until completion.

NOTE 1: WHEN DOOR SWINGS ONTO LANDING
42" MIN. PLUS DOOR WIDTH

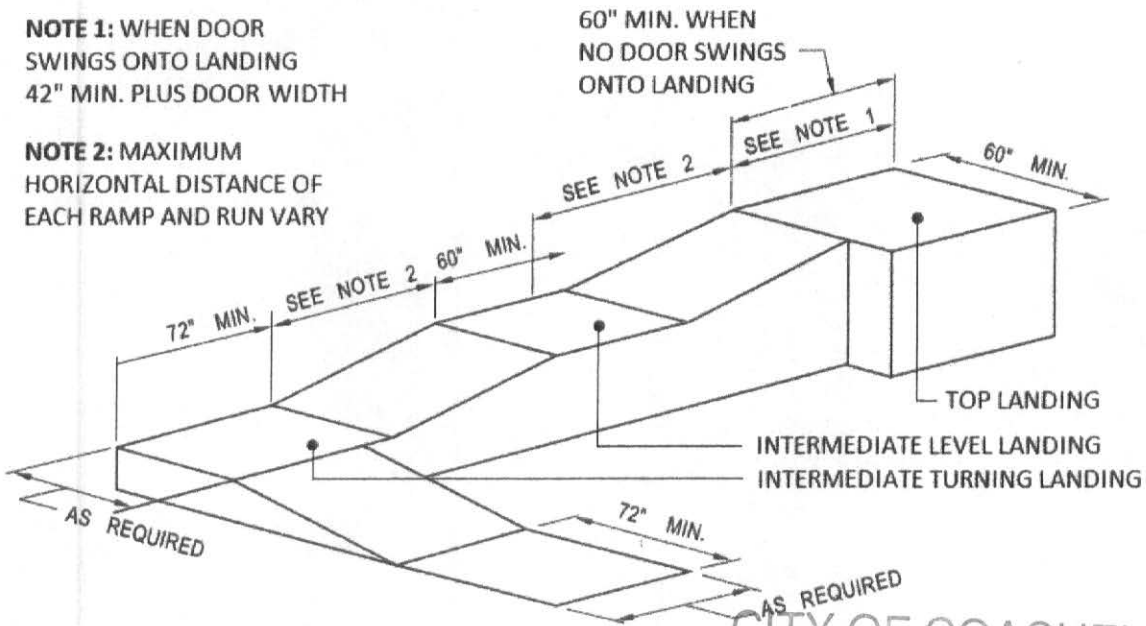
NOTE 2: MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP AND RUN VARY



(a) STRAIGHT RAMP RUN

NOTE 1: WHEN DOOR SWINGS ONTO LANDING
42" MIN. PLUS DOOR WIDTH

NOTE 2: MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP AND RUN VARY



(b) RAMP WITH TURNING LANDING

CITY OF COACHELLA
BUILDING DIVISION

APPROVED BY _____

DATE _____

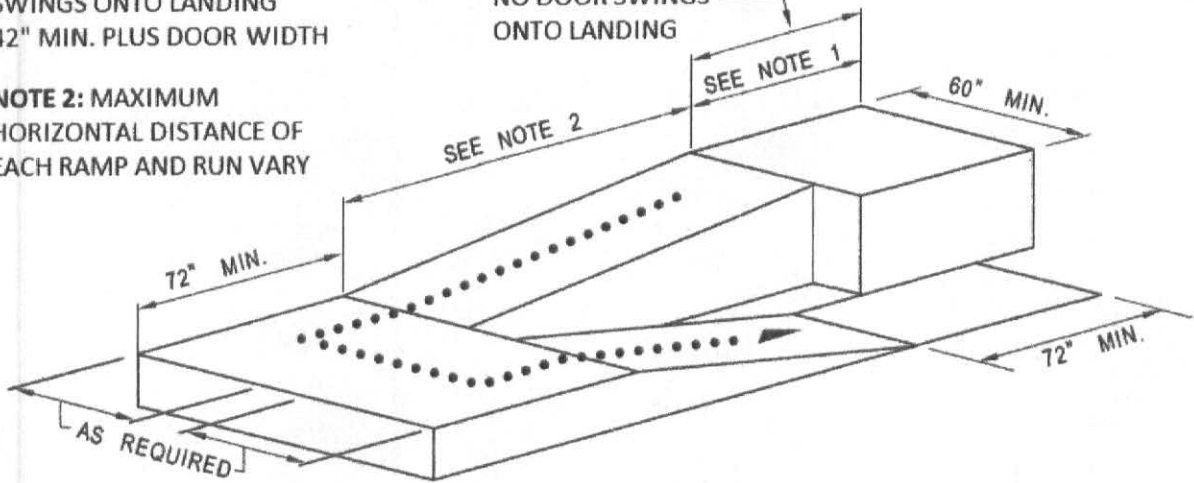
**FIGURE 11A-6C
RAMP DIMENSIONS**

Approval of these plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the state or local laws. One set of approved plans must be kept on the job until completion.

NOTE 1: WHEN DOOR SWINGS ONTO LANDING
42" MIN. PLUS DOOR WIDTH

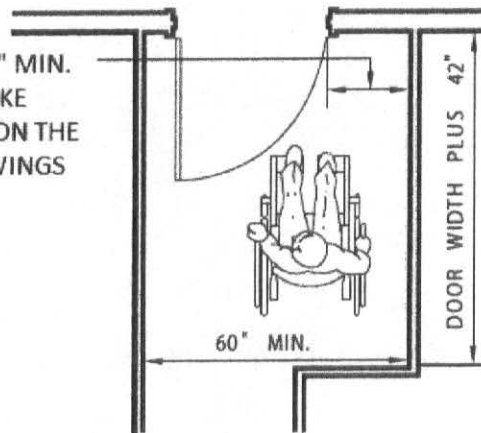
60" MIN. WHEN NO DOOR SWINGS ONTO LANDING

NOTE 2: MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP AND RUN VARY



(a) RAMP WITH INTERMEDIATE SWITCH BACK LANDING

24" MIN. EXTERIOR AND 18" MIN. INTERIOR BEYOND THE STRIKE EDGE OF A GATE OR DOOR ON THE SIDE TOWARD WHICH IT SWINGS



(b) RAMP LANDING AT DOORWAY

CITY OF COACHELLA
BUILDING DIVISION

FIGURE 11A-6D APPROVED BY
RAMP LANDING AND DOORWAY

[Signature]
DATE

Approval of these plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the state or local laws. One set of approved plans must be kept on the job until completion.

APPROVED

DEPT.

INITIALS

DATE

BUILDING

Jpc

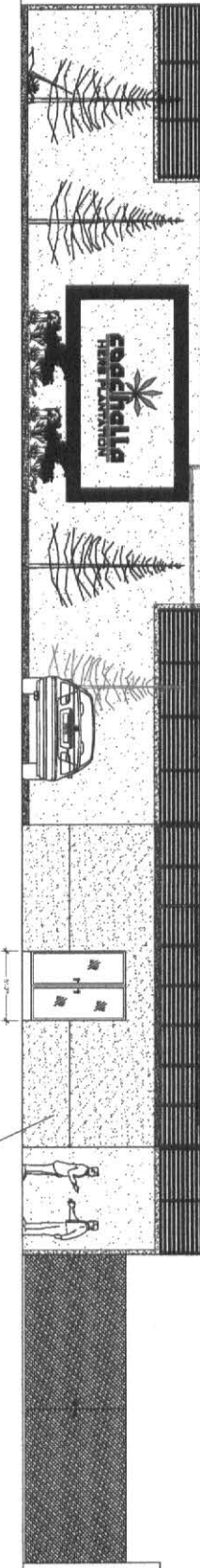
12/16/19

PLANNING

Jpc

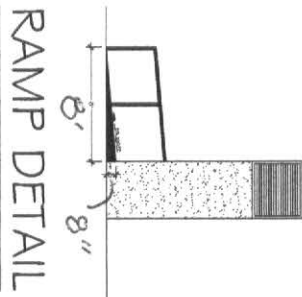
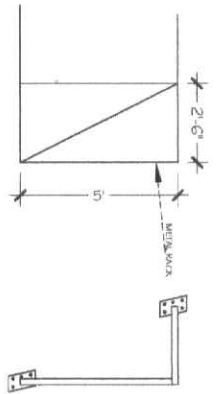
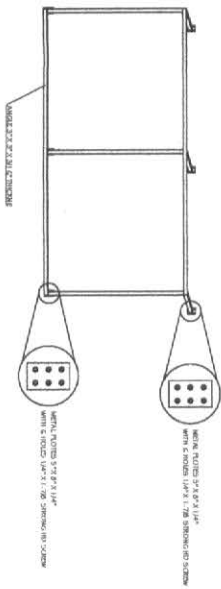
11-19-18

ENGINEERING



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RAMP DETAIL

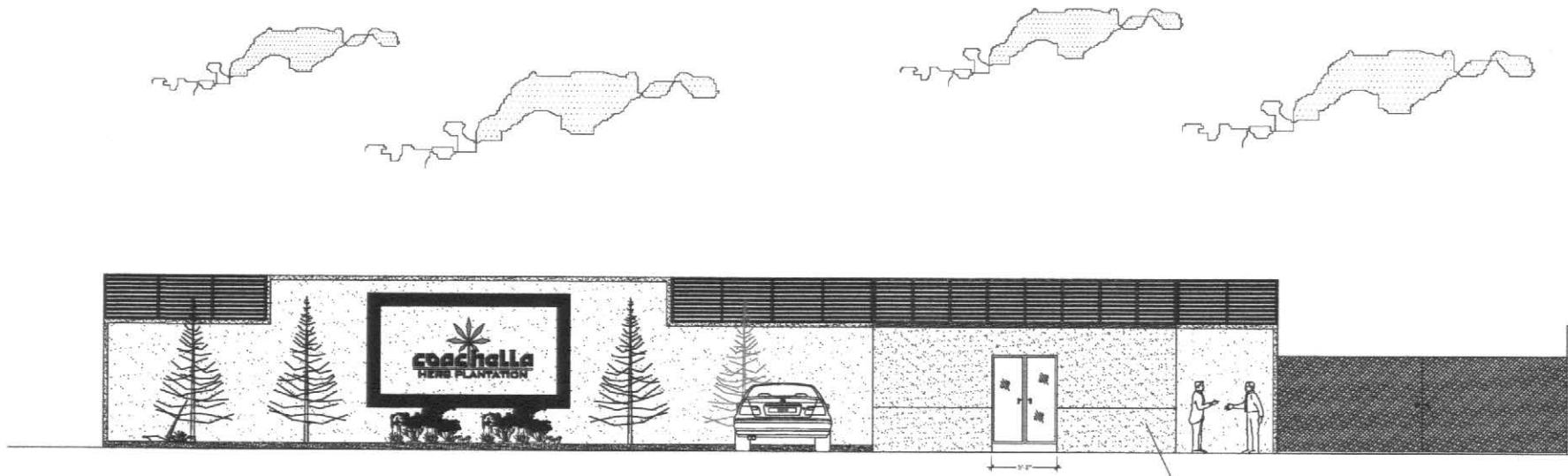
SHEET A-1 1 OF 1	ELEVATION AND DETAILS	NEW ADDITION Owner: COACHELLA HERB PLANTATION 84801 AV 48TH COACHE LLA, CA 92201	REVISIONS <table border="1" style="width: 100%; height: 50px;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>										

APPROVED		
DEPT.	INITIALS	DATE
BUILDING	<i>Mr</i>	<i>12/10/18</i>
PLANNING	<i>Jc</i>	<i>11-14-18</i>
ENGINEERING		

COACH HALLS
HERB PLANTATION



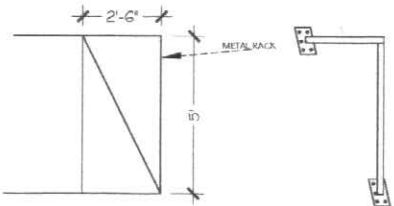
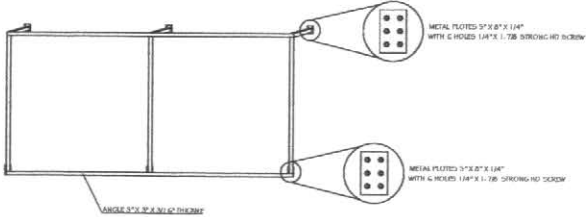
REVISIONS



FRONT ELEVATION

SCALE: 1/4" = 1' - 0"

SEE SPECIFICATIONS FOR WIRE OR
EQUIVALENT METAL LATH OR
1/2" x 1/2" GA. WIRE, 1-1/2" x 1/2" HEADS
OF 1/4" RODS. APPROX. TO MATCH ALL STUDS,
TOP & BOTTOM PLATE, & BLOCKS TYPICAL.
WIRE STUCCO IS APPLIED OVER SHEATHING.



CITY OF COACHELLA
BUILDING DIVISION

APPROVED BY _____ DATE _____

RAMP DETAIL

Approval of these plans shall not be construed to be a permit, nor, or a approval of, any violation of any of the provisions of the state or local laws. One set of approved plans must be kept on the job until completion.

NEW ADDITION
OWNER: COACHELLA HERB PLANTATION
84801 AV 48TH
COACHELLA, CA 92201

SHEET TITLE
ELEVATION
AND
DETAILS

Sheet
A-1
1 OF 1



CITY OF COACHELLA
BUILDING DIVISION

APPROVED BY _____ DATE _____

Approval of these plans shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the state or local laws. One set of approved plans must be kept on the job until completion.

City of Coachella
Utility
1515 6th Street
Coachella, CA 92236
760-398-2702
Welcome

000616-0040 Carmin T. 12/11/2018 10:05AM

PERMITS & INSPECTIONS

MARCELO MORALES
BL-2018-12-13159
MISCELLANEOUS BUILDING
PERMIT
FACADE RENOVATION,
HANDICAP RAMP PLUS NE
pending

2018 Item: BL-2018-12-13159 265.62
Payment Id: 56988

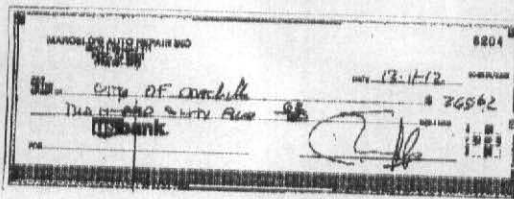
265.62

Subtotal 265.62
Total 265.62

CHECK 265.62
Check Number 006204

Change due 0.00

Paid by: MARCELO MORALES



Thank you for your payment
Gracias por su pago

CUSTOMER COPY
DUPLICATE RECEIPT



**CITY OF COACHELLA
BUILDING PERMIT
COMMUNITY & DEVELOPMENT SERVICES**

\$155.00
\$68.50
\$1.00
\$2.80

\$227.30



DATE: _____
PERMIT NO: _____
USE ZONE: _____
OCCUPANCY: CONSTR TYPE: SQ FT: _____
INSPECTION REQUEST REQUIRE 24 HOUR NOTICE
(760) 398-3002

Project Address:
Dirección del Proyecto: 64801 AV 46TH COACHELLA CA 92236

Applicant's Name:
Nombre del Solicitante: MARCOLO MARALES

Owner's Name:
Nombre del Propietario: MARCOLO MARALES

Owner's Address:
Dirección del Propietario: SAME

Project Valuation:
Evaluación del Proyecto: _____

PARCEL#
LOT#:
TRACT#:
Phone Number:
Número de Telefono

Fax:
Fax:

Contractor's Name:
Nombre del Contratista

Contractor's Address:
Dirección del Contratista:

Phone Number:
Número de Telefono: 7606991332

Fax:
Fax: sent email

Contact Person:
Persona de Contacto

Project Name/ Nombre del Proyecto:

Permit Type/ Tipo de Permiso:

Description of Work/Descripción de los trabajos:

Condition/Condición:

Bus Lic/ Licencia:

State Lic/Licencia del Estado:

Contact Phone:
Teléfono de Contacto:

FACADE RENOVATION & ENTRY DOOR

ELECTRICAL		MECHANICAL		PLUMBING	
# OF SVCS 600 V/UP TO 200 AMPS		# AC/ BOILERS UP TO 100K BTU		# OF BACKFLOW DEVICES <=2"	
# OF SVCS 600 V/ OVER 200 AMPS		# A/C BROILERS 100K-500K BTU		# OF BACKFLOW DEVICES >2"	
# OF SVCS 600 V/ OVER 1000 AMPS		# AC/BROILERS 500K BTU-1M BTU		# OF PLUMBING FIXTURES	
# OF TEMP POWER SERVICES		# AC/BROILERS 1M BTU- 1.75M BTU		# OF PRIVATE SEWAGE DISPOSAL	
# OF SUB-POLES		# AC/BROILERS OVER 1.75M BTU		# OF SEPTIC TANKS	
# OF ELECT GENERATORS/RIDES		# OF A/C UNITS		# OF SEWER CONNECTIONS	
# OF BOOTH LIGHTING		# OF AIR HANDLERS < 10K CFM		# OF WATER SERVICE	
# OF FIXTURES FOR REPAIR/ALT		# OF AIR HANDLERS > 10K CFM		# OF WATER HEATERS	
# OF ELECTRICAL FIXTURES		# OF APPLIANCE VENTS		# OF GAS SYSTEMS	
# OF RESIDENTIAL APPLIANCES		# OF FURNACES UP TO 100K BTU		# OF VACUUM/BACKFLOW DEVICES	
# OF RECEPTACLES/SWITCHES/OUTLETS		# OF FURNACES OVER 100K BTU		# OF LAWN SPRINKLERS	
# OF POWER APPARATUS		# OF INCINERATORS- DOMESTIC		# SWIMMING POOL/PUBLIC POOL	
# OF PRIVATE SWIMMING POOL(S)		# OF EXHAUST FANS		# OF SWIMMING POOL/PUBLIC SPA	
		# COMM. RANGE HOODS		# OF SWIMMING POOL/PRIVATE POOL	
				# OF SWIMMING POOL/PRIVATE SPA	
				# OF INDUST WASTE INTERCEPTOR	

CERTIFICATION APPEARING ON APPLICATIONS have carefully examined the above completed "Application and Permit" and do hereby certify that all information hereon is true and correct, and I further certify and agree, if a permit is issued, to comply with all City, County, and State laws governing building construction, whether specified herein or not, and I hereby agree to save, indemnify and keep harmless the City of Coachella against liabilities, judgments, costs and expenses which may in any way accrue against said City in consequence of the granting of this permit.

The issuance of this permit is based upon plans and specifications filed with the City of Coachella and shall not prevent the building official from thereafter requiring the correction of errors in said plans and specifications. Every permit issued by the Building Official under the provisions of this Code shall expire by limitation and become null and void, if the building or work authorized by such permit is not commenced within 180 days from the date of such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days.

Applicant's Signature:

Building:

Planning:

BUILDING PERMIT NO. _____

CITY OF COACHELLA, CA
1515 SIXTH STREET
COACHELLA, CA. 92236 (760) 398-3002

Building Address: 84801 AV 48TH

Applicant: MARCELO D. MORALEZ

Mailing Address: SAME

City: COACHELLA Zip: 92236 Tel: 760 899 1332

Owner: _____

Mailing Address: _____

City: _____ Zip: _____ Tel: _____

Contractor: _____

Mailing Address: _____

City: _____ Zip: _____ Tel: _____

State Lic. & Class: _____ City License #: _____

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provision of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class: _____ License #: _____

Date: _____ Contractor: _____

OWNER-BUILDER DECLARATION

I, hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Sec. 703.1.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and professions Code) or that he or she is exempt there from and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own

employees provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

Item 2.

I, as owner of the property, am exclusively contracting with licensed contractor's to construct the project (Sec. 7044, business and Professions Code: the Contractor's License Law does not apply to owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

I am exempt under Sec. _____ B & P C for this reason

Date: 11-03-18 Owner: Marcelo Moralez

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier: _____ Policy # _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provide for in Section 3706 of the Labor Code, Interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

I, hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civ. C).

Lender's Name _____

Address: _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Date: 11-03-18 Applicant Signature: _____

84801 AVE 48TH
DACHELLA, CA.

detachable
markings

Exist Building

AA

000000
000000

8.33% Max

with
4" Slab
with 1/2" rebar @ 12"

2%
Max 42"
min

Hand rail
per CBC
11B-405.8

6"
TYP

APPROVED

DEPT. _____ INITIALS _____ DATE _____

BUILDING _____

Top View

14'

AA

1/6"

4x4

2x4 Railing

2x4 Railing

Guide
rail or
curb

North View

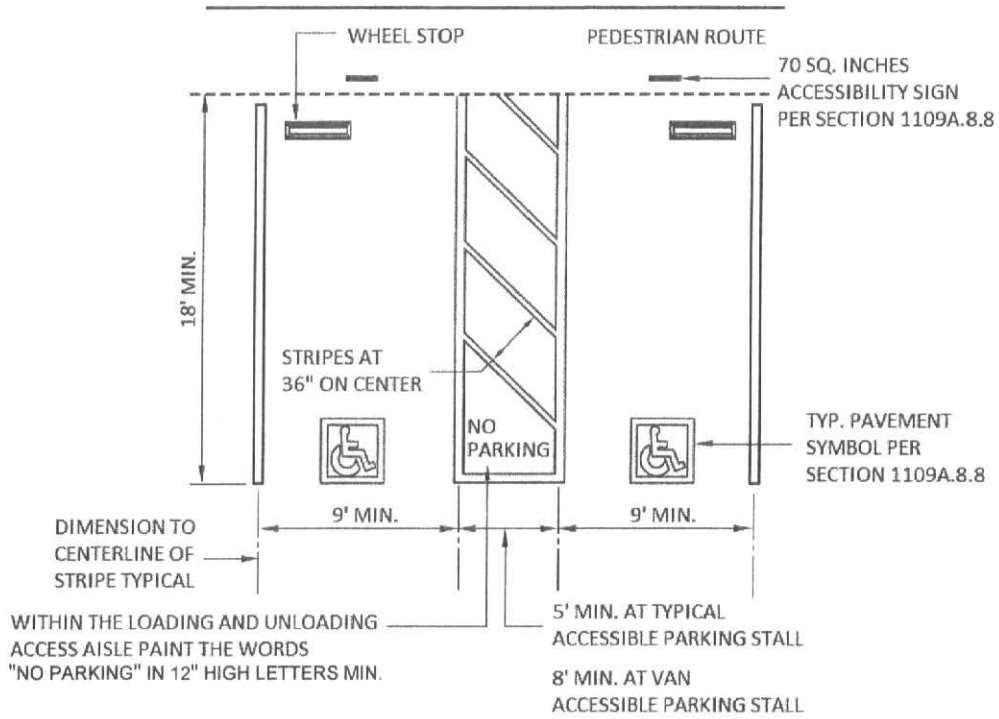
Three weep holes

34"
Max

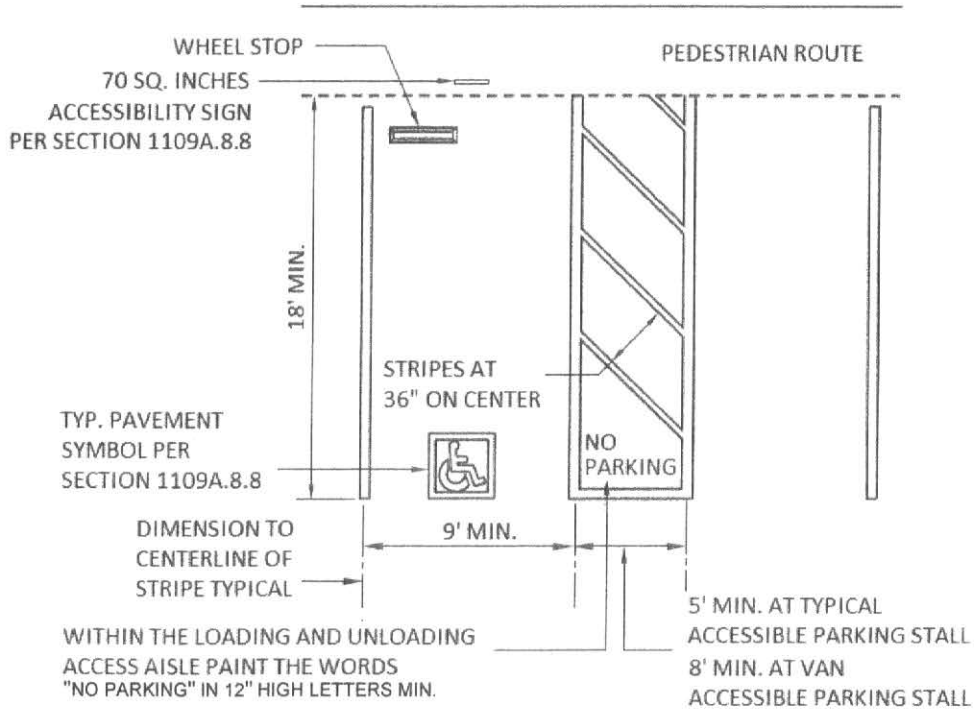
Existing Parking lot

SECTION A-A

Not to Scale



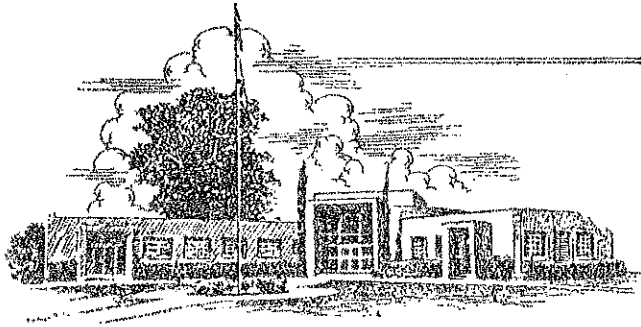
**FIGURE 11A-2A
DOUBLE PARKING STALLS**



**FIGURE 11A-2B
SINGLE AND VAN ACCESSIBLE PARKING STALLS**

Brian Gumpert
Building Official

CITY OF COACHELLA
Development Services Department



53-990 Enterprise Way
Coachella CA 92236
(760) 398-3102

Request for Agency Comments

=Conditional Use Permit No. 334=

Project Name: Coachella Greenery

Project Location: 84-801 Avenue 48
APN (603-232-025, -027)

Case Numbers Assigned: Conditional Use Permit No. 334
Conditional Use Permit No. 293 (Modification)

Applicant: Diana Palacios
83-614 Eagle Avenue
Coachella, CA 92236

Date: February 8, 2021

The proposed project includes the following:

1. **Conditional Use Permit No. 334** to allow a 1,100 square foot retail cannabis business within units 1 and 3 of the existing industrial building located at 84-801 Avenue 48.
2. **Conditional Use Permit No. 293 (Modification)** to modify the phasing plan in order to convert what was approved as an interim use facility into a 1,100 square foot retail cannabis business and in the future remove the existing building that will contain the dispensary and relocate the dispensary within Phase 1 of the cannabis cultivation project that was previously approved as part of CUP No. 293.


The City of Coachella is requesting comments regarding the project design with respect to:

- Physical impacts of the project on public resources, facilities and/or services;
- Recommended conditions that your agency believes would improve the design of the project within the scope of your agency's authority; or

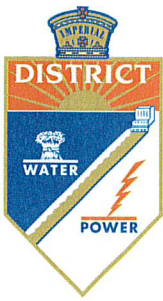
- Recommended improvements to satisfy other regulations and concerns from which your agency is responsible.

Please respond in writing by **February 18, 2021**, so that we may include your input in the analysis and recommendations regarding this project. Please type or print legibly so that we may correctly include your comments.

Allowable area of U occupancy structures is limited (hoop houses), construction type, occupancy or fire suppression plans may need to be adjusted accordingly.

Comments made by:  Date: 2/11/21
 Printed Name & Title: Brian Gumpert / Building Official
 Agency: _____ Telephone #: _____

Please return your comments to:
 CITY OF COACHELLA
 Attn: Luis Lopez, Development Services Director
 Development Services Department
 53-990 Enterprise Way
 Coachella, CA 92236
 (760) 398-3102x118



IID

A century of service.

Item 2.

www.iid.com

Since 1911

February 18, 2021

Mr. Luis Lopez
Director
Development Services Department
City of Coachella
1515 6th Street
Coachella, CA 92236

SUBJECT: Coachella Greenery Project in Coachella, CA; CUP No. 334

Dear Mr. Lopez:

On February 9, 2021, the Imperial Irrigation District received from the City of Coachella Development Services Department, a request for agency comments on the preliminary information and design plans for the Coachella Greenery project; Conditional Use Permit no. 334. The applicant, Diana Palacios, proposes to establish a 1,100 sq. ft. retail cannabis business within units 1 and 3 of the existing industrial building located at 84-801 Avenue 48 in Coachella, California (APN 603-232-025, -027).

The IID has reviewed the project information and has the following comments:

1. As per preliminary information provided to the IID, the district declines to grant electrical service for the project at this time. Based on the significant activity within the vicinity of the location identified above, a more robust plan of development is under way to serve the area's growth. IID has undertaken an assessment of the requirements of the cluster of projects in the area rather than address them individually. The Coachella Greenery project is one that will be analyzed as part of a greater group of customers with the intention of developing a single solution that will allow the project to receive service.
2. For additional information regarding electrical service for the project, the applicant should be advised to contact the IID Energy - La Quinta Division Customer Operations, 81-600 Avenue 58 La Quinta, CA 92253, at (760) 398-5841 and speak with the project development planner assigned to the area.

Should you have any questions, please do not hesitate to contact me at (760) 482-3609 or at dvargas@iid.com. Thank you for the opportunity to comment on this matter.

Respectfully,

Donald Vargas
Compliance Administrator II

Enrique B. Martinez – General Manager
Mike Pacheco – Manager, Water Dept.
Marilyn Del Bosque Gilbert – Manager, Energy Dept.
Constance Bergmark – Mgr. of Planning & Eng./Chief Elect. Engineer, Energy Dept.
Enrique De Leon – Asst. Mgr., Energy Dept., Distr., Planning, Eng. & Customer Service
Jamie Asbury – Assoc. General Counsel
Vance Taylor – Asst. General Counsel
Michael P. Kemp – Superintendent, Regulatory & Environmental Compliance
Laura Cervantes – Supervisor, Real Estate



STAFF REPORT
3/3/2021

TO: Planning Commission Chair and Commissioners

FROM: Luis Lopez, Development Services Director
Heraclio Pimentel, BB&K City Attorney

SUBJECT: Ordinance No. 1176 (ZOA 21-02) An Ordinance of the City Council of the City of Coachella, California, Amending Sections 16.12.110 and 17.70.050 of the Municipal Code Regarding Notices of Public Hearing Related to Tentative Subdivision Maps and the Processing of Applications on Planning and Zoning Matters. City – Initiated.

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission review and consider the following Ordinance and recommend to the City Council approval of the attached draft ordinance described below:

ORDINANCE NO. 1176. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF COACHELLA, CALIFORNIA, AMENDING SECTIONS 16.12.110 AND 17.70.050 OF THE MUNICIPAL CODE REGARDING NOTICES OF PUBLIC HEARING RELATED TO TENTATIVE SUBDIVISION MAPS AND THE PROCESSING OF APPLICATIONS ON PLANNING AND ZONING MATTERS.

BACKGROUND:

Section 16.12.110 of the Coachella Municipal Code requires that all tentative subdivision maps be reviewed by both the planning commission and city council at a duly noticed public hearing. Such notices are to be mailed and posted on the subject property. Notice is mailed to the subdivider and all property owners within 300 feet of the exterior boundary of the subject property. Section 16.12.110, subdivision D, provides that any interested person may appear at the hearing and shall be heard.

Similarly, Section 17.70.50 provides for public hearings to receive original evidence or testimony in relation to applications to initiate consideration of planning and zoning matters. Subdivision F of Section 17.70.50 requires such a public hearing to be noticed. Among the parties to be notified are adjacent property owners of the subject property, owners of property within a 300 foot radius from the subject property, and other persons who have requested notice.

DISCUSSION:

Currently, the majority of public hearing notices required by Sections 16.12.110 and 17.70.50 are provided in English only. The proposed amendments to Sections 16.12.110 and 17.70.50 would require written public notices provided under those sections to be provided in both the English and Spanish languages or in such other language as may be required by law. The amendments also include provisions upholding the validity of such notices should they happen to be provided in English only.

ALTERNATIVES:

- 1) Recommend approval of Ordinance No. 1176 as presented.
- 2) Recommend approval of Ordinance No. 1176 with amendments.
- 3) Recommend denial of Ordinance No. 1176.
- 4) Continue this item and provide staff with direction.

Attachments: Draft Ordinance No. 1176

= DRAFT =

ORDINANCE NO. 1176

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF COACHELLA, CALIFORNIA, AMENDING SECTIONS 16.12.110 AND 17.70.050 OF THE MUNICIPAL CODE REGARDING NOTICES OF PUBLIC HEARING RELATED TO TENTATIVE SUBDIVISION MAPS AND THE PROCESSING OF APPLICATIONS ON PLANNING AND ZONING MATTERS

THE CITY COUNCIL OF THE CITY OF COACHELLA DOES ORDAIN AS FOLLOWS:

SECTION 1. Amendment to Coachella Municipal Code. Coachella Municipal Code Chapter 16.12 *Tentative Maps*, Section 6.12.110 is hereby amended as follows (deleted text in ~~strikethrough~~, new text in **bold underline**):

“16.12.110 - Public hearing.

All tentative subdivision maps shall be reviewed by both the planning commission and the city council at duly noticed public hearings. Notice of public hearings shall be by both mailed notice and posting of the property. **Such written notice shall be provided in English and Spanish, or in such other language as may be required by law. Failure to provide written notice in any language other than English shall not affect the validity of any notice provided hereunder.**

- A. Written notice shall be mailed to the subdivider and to the owners of all property within three hundred (300) feet of the exterior boundaries of the property involved at least ten (10) days prior to the date of the hearing. The last known name and address of each owner as shown on the records of the county assessor may be used for the notice.
- B. An agent of the city planner shall post notices of public hearings not less than ten (10) days before the event. At least three notices, not more than three hundred (300) feet apart, shall be posted in front of each block or part of a block effected by the public hearing.
- C. Notification of subsequent hearings may be given at each preceding meeting, but additional written notice is not required.
- D. Any interested person may appear at a hearing and shall be heard.”

SECTION 2. Amendment to Coachella Municipal Code. Coachella Municipal Code Chapter 17.70 *Administration Generally*, Section 17.70.050 is hereby amended as follows:

“17.70.050 - General rules for processing applications.

- A. **Initiation.** Applications to initiate consideration of planning and zoning matters may be made by a variety of persons or agencies, such as owners, bona fide lessees, the city planning commission or the city council. The specific types of are listed under the applicable procedures.
- B. **Applications—Form and Content.**

1. Applications shall be made on a form prepared by the agency having jurisdiction. Additional verified information may also be required in accordance with provisions of this chapter and rules established by the authorized agency.
 2. Applications shall be filed in person at the public counter of the department and must include payment of required filing fees.
- C. Applications—Required Plan or Maps.
1. Applications may require inclusion of a zoning and land use map plus a verified list of property owners that are shown upon the records of the county assessor to be within the area of required notification. Specific requirements shall be as shown on the application and the requirements of notification.
 2. Sets of plot plans of the property and tentative plans for any proposed building construction or structural changes may also be required. Photographs and other descriptive material are generally recommended.
- D. Withdrawal of Application. Any applicant may withdraw an application at any time, provided the withdrawal is in writing and notification of public hearing has not been mailed. Any public hearing for which notification has been given shall be held, after which the withdrawal in writing of the application may be approved. If the withdrawal is accepted, the application shall be deemed null and void.
- E. Public Hearings.
1. A public hearing is a session to receive original evidence or testimony on applications regulated by this chapter. These, when required, are held by the planning commission or city council, depending on the type of case involved.
 2. The planning commission and city council meet in regularly scheduled sessions to discuss and rule on planning and zoning matters. At these public meetings, they may hear original evidence or testimony on applications where permitted or not prohibited by this chapter. In such cases, the meeting is also a public hearing.
 3. Public hearings on matters under planning commission jurisdiction are generally conducted by a member of the planning department staff who shall investigate and prepare a report for the commission. The commission may conduct the public hearing if it so elects.
- F. Notification of Public Hearing. A public hearing shall require notification of the time, place and purpose of the hearing in one or more of the following ways **listed below** and as noted by reference under the specific procedure. **Written notice provided in the ways listed below shall be provided in English and Spanish, or in such other language as may be required by law. Failure to provide written notice in any language other than English shall not affect the validity of any notice provided hereunder.**
1. Newspaper. by at least one publication in a newspaper of general circulation in the city not less than ten (10) days prior to the date of the hearing.
 2. Written Notice to Applicant and Surrounding Owners. By mailing written notice not less than twelve (12) days prior to the date of such hearing to the applicant and owners of all property within a three hundred-foot radius from the subject property. However, in the

case of wireless communication facility applications under Chapter 17.86, the radius shall be five hundred (500) feet. Where seventy-five (75) percent or more of the property within the three hundred-foot or five hundred-foot radius is owned by the applicant, or is in public ownership, notification shall include all adjacent property owners.

3. Written Notice to Applicant and Adjacent Property Owners. By mailing written notice not less than twelve (12) days prior to the date of such hearing to the applicant and adjacent property owners or other persons on request.
 4. Written Notice for Applications Governing Public Facilities. By written notice to the applicant not less than twelve (12) days prior to the date of such hearing. Additional notice to adjacent or surrounding residents is at the option of the agency having jurisdiction.
 5. Posting. Posting of notification may be required for building line and planned street line procedures or for other cases at the discretion of the responsible agency. Upon written request of the agency having jurisdiction, an agent of the superintendent of public works shall post notices of public hearings not less than twelve (12) days before the event. At least three notices, not more than three hundred (300) feet apart, shall be posted in front of each block or part of a block affected by the public hearing.
 6. Notification of Subsequent Hearings. Notice of subsequent public hearings may be given at each preceding meeting, but additional written notice is not required.
- G. Combined Procedures. The planning commission may hear or consider simultaneously multiple proposals for any matter under its jurisdiction if the procedural questions refer to the same property or to adjoining property under the same ownership.
1. If in such cases, only one notification of public hearing need be given concerning the proposals and all matters may be considered at one public hearing.
 2. The property owners to be notified shall be the same ones that would be notified if each procedure was handled separately. Where time limits differ, the longer time periods shall govern.
 3. If the planning commission approves either or all of the proposals under consideration, a recommendation or ordinance in conformity therewith shall be presented to the city council for required action or adoption concurrently.
 4. The city council may also hear or consider simultaneously multiple proposals for any matter under its jurisdiction, if the procedural questions refer to the same property or to adjoining property under the same ownership. It is subject to rules of notification similar to those of the planning commission, where applicable.
- H. Procedure for Conduct and Recordation of Public Hearing. Whenever a public hearing is conducted to receive original evidence or testimony, a written report and summary of the pertinent points presented at the hearing or a written determination, where applicable, shall be prepared by the person conducting the hearing.
1. Oaths. All testimony and statements of fact received at public hearings may be under oath.”

SECTION 3. CEQA. The City Council finds that this Ordinance is not subject to the California Environmental Quality Act (“CEQA”) pursuant to Sections 15060(c)(2) (the activity

will not result in a direct or reasonable foreseeable indirect physical change in the environment) and 15060(c)(3) (the activity is not a project as defined in Section 15378) of the CEQA Guidelines, California Code of Regulations Title 14, Chapter 3, because it has no potential for resulting in physical change to the environment, directly or indirectly.

SECTION 4. Effective Date. This Ordinance shall take effect thirty (30) days after its adoption.

SECTION 5. Severability. If any section, subsection, subdivision, paragraph, sentence, clause or phrase of this Ordinance, or any part thereof is for any reason held to be unconstitutional, such decision shall not affect the validity of the remaining portion of this Ordinance or any part thereof. The City Council hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause or phrase thereof, irrespective of the fact that any one or more section, subsection, subdivision, paragraph, sentence, clause or phrase be declared unconstitutional.

SECTION 6. Certification. The City Clerk shall certify the passage of this Ordinance and shall cause the same to be entered in the book of original ordinances of said City; shall make a minute passage and adoption thereof in the records of the meeting at which time the same is passed and adopted; and shall, within fifteen (15) days after the passage and adoption thereof, cause the same to be published as required by law, in a local newspaper of general circulation and which is hereby designated for that purpose.

ORDINANCE PASSED AND APPROVED at a regular meeting of the City Council of the City of Coachella this _____ day of _____, 2021.

Steven A. Hernandez, Mayor

ATTEST:

Angela M. Zepeda, City Clerk

APPROVED AS TO FORM:

Carlos Campos, City Attorney